

Ashborough East Architectural Review Board
221 Brandywine Drive
Summerville, SC 29485

Phone/Fax:
843-821-1275

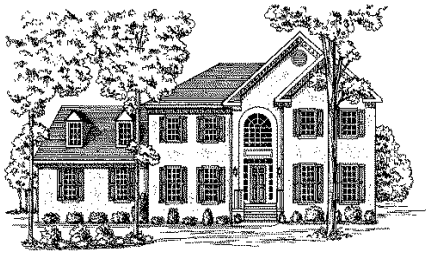
ASHBOROUGH EAST ARB REVIEW REQUIREMENTS

The ARB appreciates the co-operation and efforts of all homeowners in making Ashborough East an attractive and beautiful community. To comply with requirements of the Ashborough East Bylaws and Covenants, all homeowners must request review and receive approval by the Architectural Review Board (ARB) before making changes to the appearance of their homes or lots. The review process is described in AEHA Covenants and Restrictions Article VII (pages 11-19). The ARB review process is applied uniformly without exception, and with fairness to all.

ALL exterior work requires ARB review. The primary ARB goal is to ensure that any new exterior modification will match the style and finish of the existing house, and be compatible with the established appearance of the neighborhood and community.

Some examples of work that require ARB review include the following:

1. **Exterior Remodeling**, changes, or additions to the house, including
 - a. Window, door, or dormer changes
 - b. Room or porch additions
 - c. Roof replacements
 - d. House paint color changes (body, trim, shutter, and door colors)
 - e. House siding changes
 - f. Roof gutter and downspout installation
 - g. Porch roofs, canopies, columns, and railings
 - h. HVAC/electrical line covers & cond. drain lines (must match trim or house color)
2. **Tree** removals – for all trees 2" diameter at chest height or larger
3. **Tree** trimming requiring removal of 25% or more of tree crown
4. **Tree** trimming requiring removal of limbs 6" diameter or larger at cut point
5. **Sheds, outbuildings, or storage units** (must follow design, color, and material of main house as outlined in separate guidelines posted on website) and **greenhouses**
6. **Detached garages** (must follow design, color, and material of main house as outlined in separate guidelines posted on website)
7. New & replacement **Fences and gates** (material, height, and location)
8. **Play structures** including pre-fab **climbing & swing** units and **treehouses** (height, width, length, appearance, and location – see Covenants)
9. **Exterior lighting** (see Covenants)
10. **Swimming or garden pools** (location and site coverage)
11. **Solar** panels (location and appearance)
12. **Porch** additions, remodeling, enclosures, **patio, pergola, deck** construction, **concrete slab** pours, and **hardscaping** (location and appearance)
13. **Driveway** or **sidewalk** expansions or changes (width, site coverage, and location)
14. **Free-standing** elements, such as **Standalone flagpoles** or **Driveway entrance piers**



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For general information, **the following are not permitted:**

1. Chain link or chicken wire fences
2. Vinyl fences
3. Plastic or commercially pre-built wooden or metal storage sheds
4. Metal roofs
5. Screened pool enclosures
6. Front yard patios
7. Front yard location of children's swings, slides, or other play equipment
8. Front yard ornament exceeding standards outlined in "Front Yard Ornament and Sculpture – Guidelines" (see website).

Homeowners must submit an ARB application to start the ARB review process (forms are available on the website). An ARB member will schedule and conduct a site meeting to review the application and project. Findings from the site meeting will be discussed with the full ARB to confirm a decision, and the homeowner will be advised of the decision in writing. Upon project completion, an ARB member may review the work to ensure Covenants compliance.

A listing of ARB documents, application forms, and helpful homeowner information is available on the community website, www.ashborougheast.org.

Architectural Guidelines for Residential Modifications

Ashborough East Homeowners Association, Inc.

FORM A – Structures Application

TO: Architectural Review Board
Ashborough East Homeowners Association, Inc.
221 Brandywine Drive
Summerville, SC 29485

FROM: _____
Name Address

Telephone Number Email address Date

Please review the following information for approval:

Type of improvement, addition, etc.:

Work to be accomplished by (name, address, phone no. of contractor, etc.):

Estimated cost of project: \$ _____

Comment and description of materials to be used:

Completion date of project: _____

Signature of homeowner

Architectural Guidelines for Residential Modifications

Ashborough East Homeowners Association, Inc.

FORM A – Structures Application

(continued)

This document must be signed as a pre-condition to ARB approval

POST-CONSTRUCTION AUDIT AGREEMENT

I understand that this project will require a post-construction audit by the Architectural Review Board to ensure that as-built conditions comply with Ashborough East Community Covenants and Bylaws.

In the event that the Architectural Review Board determines that the as-built conditions do not comply with Ashborough East Community Covenants and Bylaws, I understand that I am financially responsible, regardless of expense, for all necessary changes to bring the as-built conditions into compliance with Ashborough East Community Covenants and Bylaws.

I have full understanding of the Ashborough East Community Covenants and Bylaws relating to this project, and I understand that it is my responsibility to fully comply with them.

I further understand that our Covenants do not allow posting of Contractor Signs or other general signs on my property either during or after contractor work. Only “For Rent” or “For Sale” signs are allowed as noted in Section VII of our Covenants. I will ensure that no contractor signs will be posted on my property.

(homeowner signature)

(date)

Architectural Guidelines for Residential Modifications

Ashborough East Homeowners Association, Inc. (draft 3-18-24)

GENERAL:

No building, shed, wall, fence, swimming pool or other structure or improvement of any nature shall be commenced, erected, placed, or altered in any way which materially changes the exterior appearance of the property, or any tree removal commenced, until plans and specifications shall have been submitted to and approved in writing by the Architectural Review Board (ARB). Request for approval can be sent, dropped off, or emailed to:

Ashborough East Architectural Review Board

221 Brandywine Drive (front porch drop-off) - Summerville, SC 29485
Phone: 843-821-1275 or 770-841-5530 - Email: asheast.arb@gmail.com

Requests should be submitted using FORM A (Structures) or FORM A-1 or A-2 (Trees). Incomplete requests will be returned without action. The Architectural Review Process is governed by the following:

- **Restrictions Article VII** – per “**Ashborough East Community Covenants & Bylaws**” (11-21-15)
- **Board-approved Guidelines**, as posted on the community website
- **Community precedent**, as applied by the ARB

All homeowners have agreed by law to abide by these restrictions as a condition of sale and ownership. Real estate agents and lawyers are required to provide a copy of the Covenants & Bylaws at closing.

INSTRUCTIONS:

1. GENERAL

Submit completed FORM A for structures and FORM A-1 for trees. Use a survey or hand-sketch copy of your property to indicate the exact location of the improvement (including dimensions from side and rear property lines), or tree locations. Post-construction audit may be required for some approvals.

2. FENCES

Use FORM A. Include your property plot plan, showing exact location of fence, and indicate location and width of gates. Fences cannot extend any further forward from the rear building line of the house. Fences constructed in easement areas are subject to temporary removal by utility or County personnel to service utility lines. Fence types and restrictions are described in the Covenants, Article VII, General Provisions, item c. “Walls and Fences”, pp.11-12, and pp. 40-41. Also see Attachments B and D.

3. PORCH, DECK, & PATIO ADDITIONS

Use FORM A. Include your property plot plan, showing exact location of the improvement. Working drawings must be included and show construction details of roof, sides, floor, and electrical wiring. Exterior materials, paint color, and roof Shingles must match existing structure. An example of working drawings for a porch addition is shown in Attachment C.

4. SWIMMING POOLS

Use FORM A. Include your property plot plan, showing exact location of the pool. Working drawings must include the pool dimensions, width and material of deck, and distances from all property lines. An example in Attachment D. Refer to Covenants Restrictions (p. 11) for setback distances and details. Since fencing is required, show existing fencing or proposed fence location per Attachment B.

5. OUTBUILDINGS & EXTERIOR STRUCTURES

Use FORM A. Include your property plan, showing exact location of the structure, and indicate distances from side and rear property lines. Application must include complete working drawings, showing construction details of the entire building, and front, rear, and side elevations. Exterior siding material must match predominant siding material of existing house. Paint color and roof shingles must match existing house. An example drawing for an exterior structure is shown in attachment E.

6. DETAILED GUIDELINES for SPECIAL BUILDING TYPES & ELEMENTS

FORM A application is required & special detailing is described in the ARB section for the following: Play-Structures, Exterior Storage Cabinets, Sheds (smaller outbuildings), Detached Garages (larger outbuildings), Driveway and Sidewalk expansions, Gutters, new HVAC system Mounting and Piping on exterior walls, Exterior Cable and Utility lines, and Replacement Windows.

7. TREES

Use FORM A-1. Include your property plan, showing locations of proposed tree removals. Please see Tree Application Form and Policy in ARB section for tree removal and trimming qualification criteria.

Architectural Guidelines for Residential Modifications

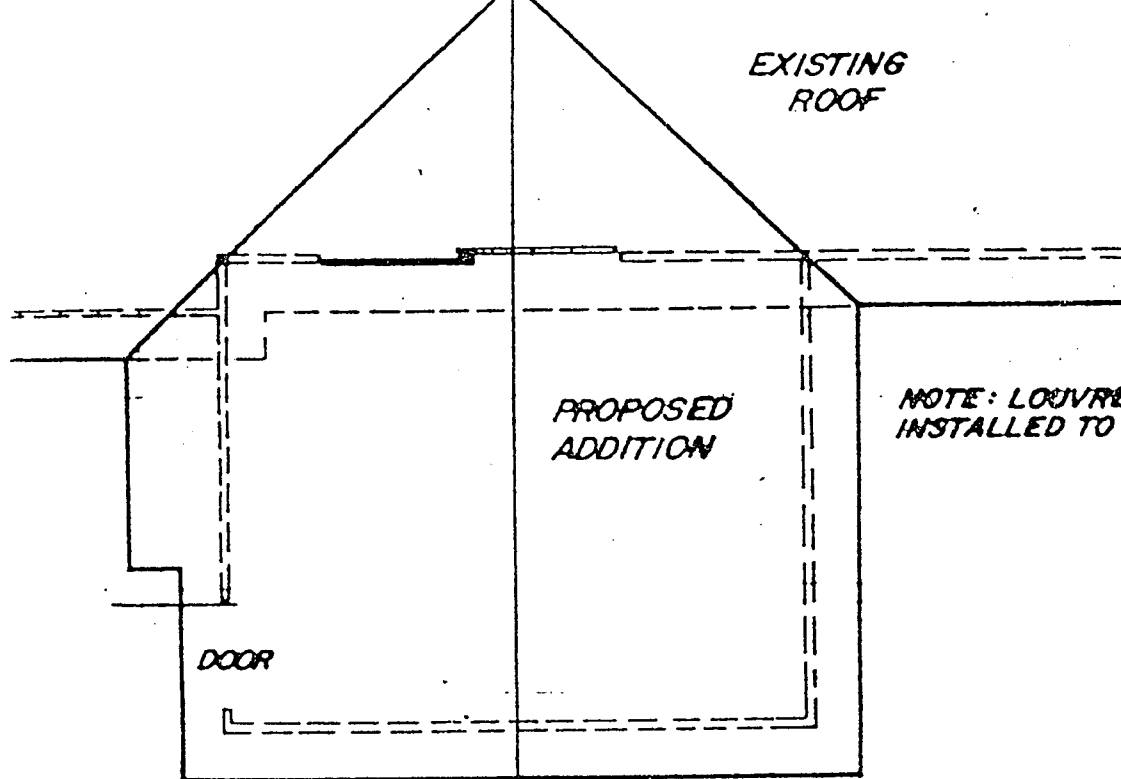
Ashborough East Homeowners Association, Inc.

ATTACHMENT B – Fence Approvals

The following items apply as stipulations for **new or replacement** fence approvals.

Also applicable are Covenants Article VII, section c, items 1 through 5 (pp. 11-12), and fence orientation location plans (pp.40-41). These must be adhered to when constructing or replacing your fence.

1. Approval is for materials, appearance, and general location of the fence. See Article VII above for permitted fence materials. For example, wood, brick, and black wrought iron (or black aluminum) are permitted, but chain link, chicken wire, and vinyl are not permitted.
2. The ARB provides guidance on fence location but homeowners are ultimately responsible for identifying lot lines and not encroaching over lines or into easements.
3. The ARB is not responsible for adjudicating or determining property line locations. Property line locations are defined in deed documents. Confirmation of property line locations is a homeowner responsibility, and can be obtained by using certified surveying services.
4. It is the responsibility of the homeowner to verify all property corners. All fence location measurements should be made using the metal boundary corner pins of the lot as a reference. Using the house as a reference may lead to an error in fence locations.
5. If the fence has a construction side (upright posts and/or horizontal nailer boards, etc.), the construction side of the fence must face the owner's property. The finished side of the fence must face away from the owner's property.
6. If the fence is to be constructed inside the property line, the owner is responsible for maintaining the area outside the fence to his property line.
7. Fences cannot extend past the back corner (rear building line) of the house going toward the front lot line.
8. If the fence is to be connected to an existing fence owned by a neighbor, a signed fence connection agreement form must be included with the application. See ARB section for link to form.
9. ARB approval is required for all new or replacement fencing.

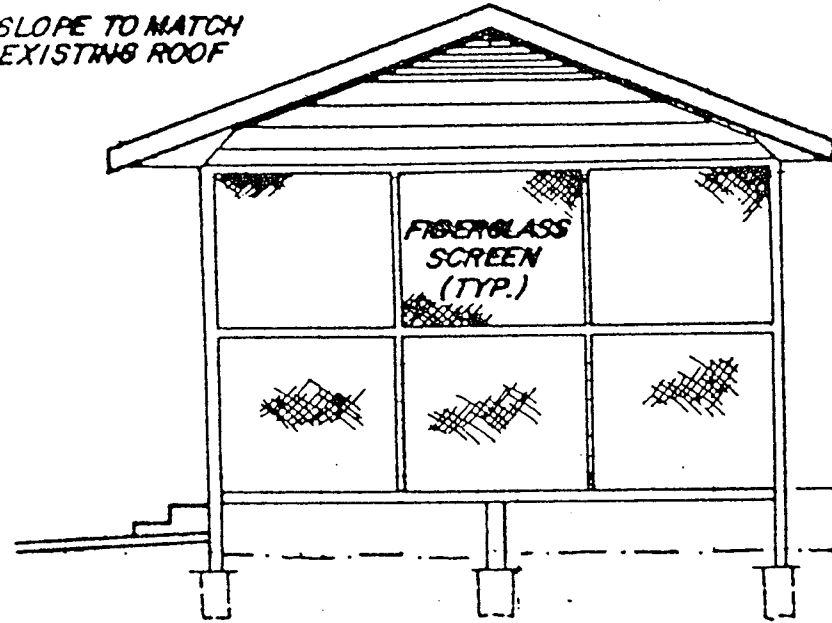


EXISTING
ROOF

PROPOSED
ADDITION

DOOR

SLOPE TO MATCH
EXISTING ROOF



FIBERGLASS
SCREEN
(TYP.)

CEILING HGT.
7'-6" TO MATCH
EXISTING SOFFIT

3'-0"

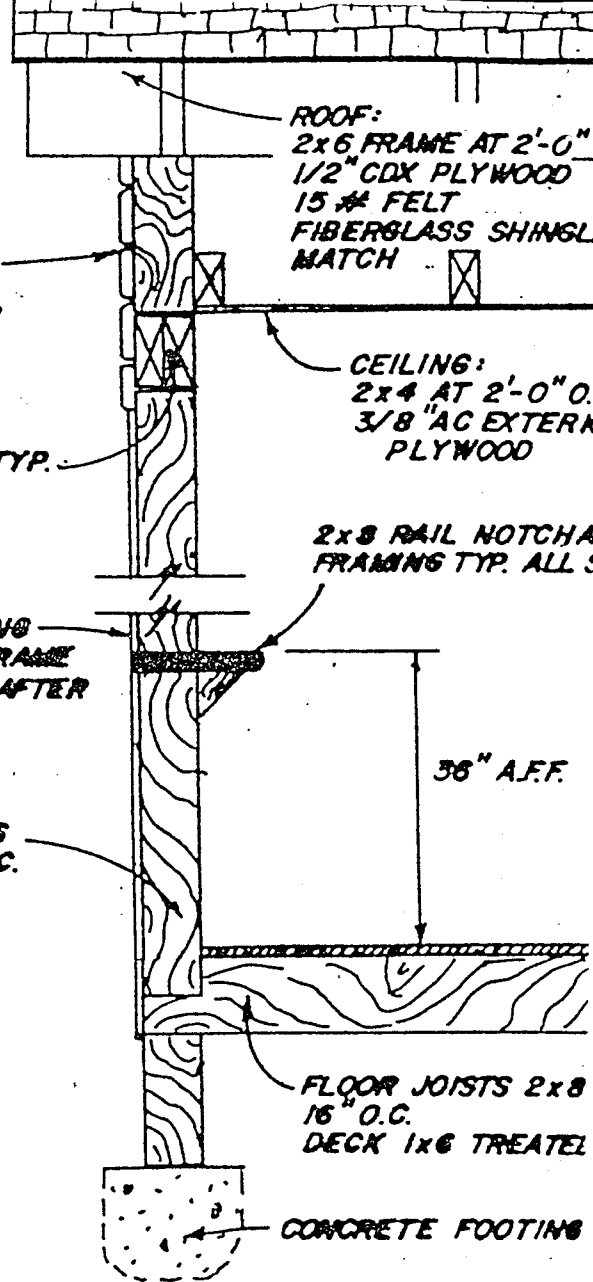
GABLE:
3x4 AT 16" O.C.
1x6 CYPRESS,
SHIPLAP SIDING,
PAINT TO MATCH
HOUSE TRIM

NOTE: LOUVRE AND EYE VENT
INSTALLED TO VENTILATE ROOF

2x6 HOR TYP.

1x FURRING
TO FACE FRAME
MEMBERS AFTER
SCREEN

FRAME:
4x4 AT CORNERS
2x4 AT 4'-0" O.C.
ALL TREATED
LUMBER



ROOF:
2x6 FRAME AT 2'-0"
1/2" CDX PLYWOOD
15# FELT
FIBERGLASS SHINGLES
MATCH

CEILING:
2x4 AT 2'-0" O.C.
3/8" AC EXTERIOR
PLYWOOD

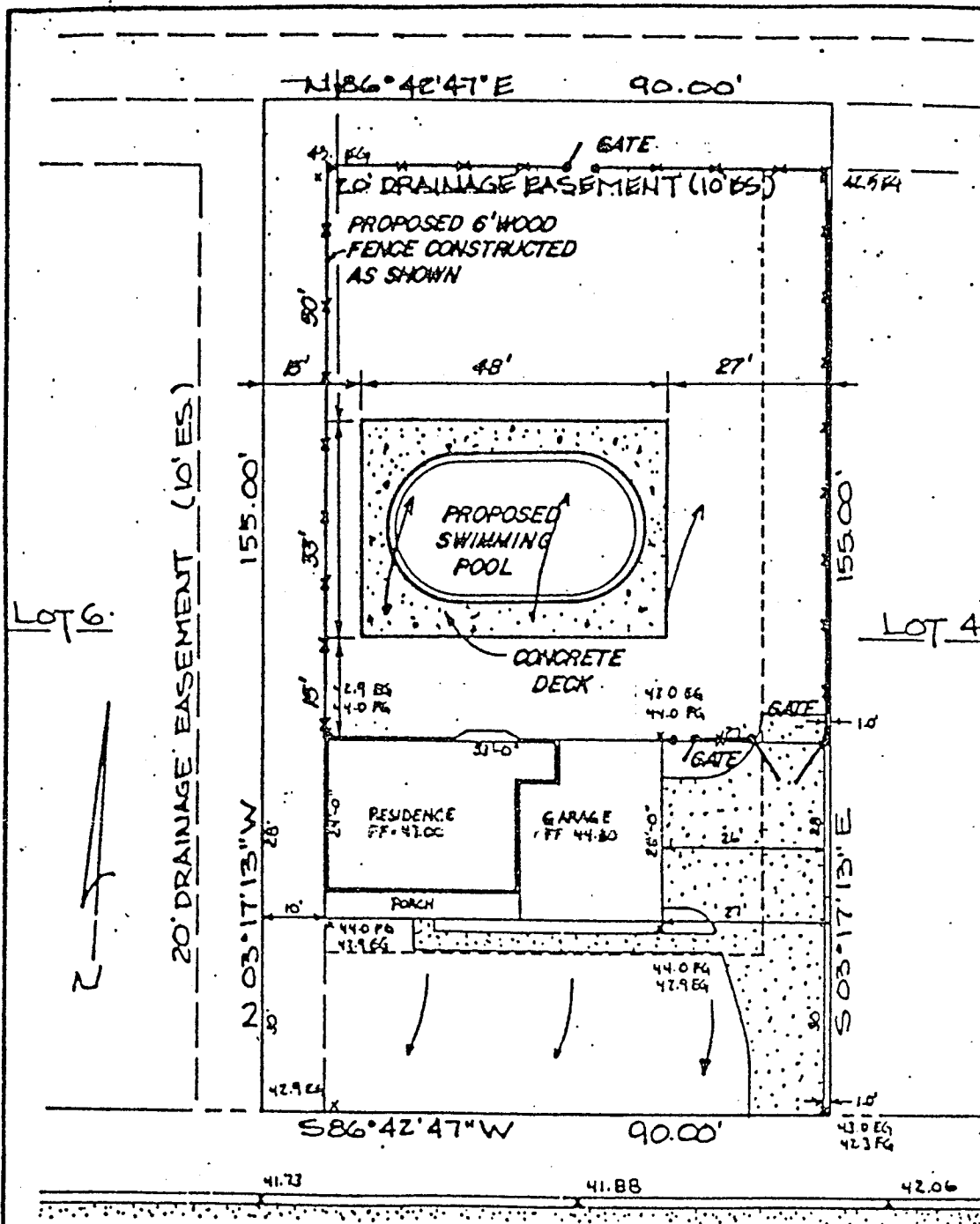
2x8 RAIL NOTCH
FRAMING TYP. ALL S

36" A.F.F.

FLOOR JOISTS 2x8
16" O.C.
DECK 1x6 TREATED

CONCRETE FOOTING

ATTACHMENT - C EXAMPLE OF CONSTRUCTION
DETAILS REQUIRED FOR PORCH OR DECK
ADDITIONS



50' R/W

PLOT PLAN SHOWING LOT ,BLOCK SUBDIVISION

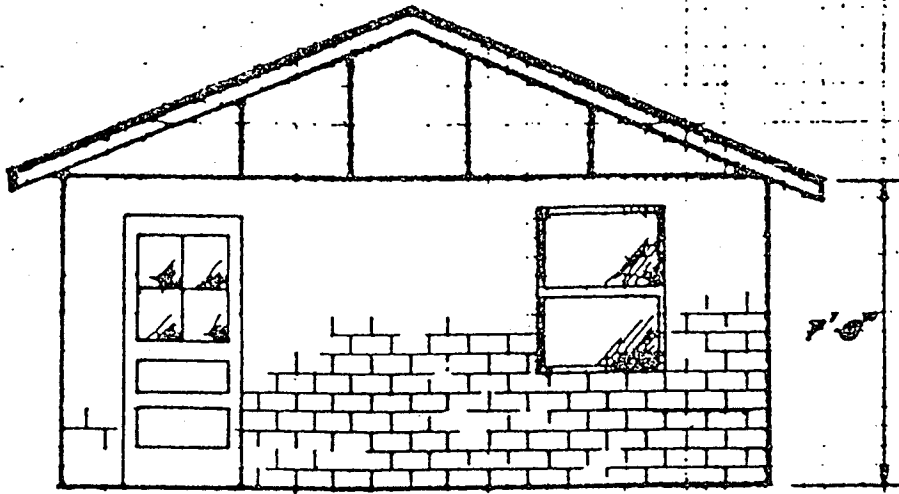
LOCATED IN

SCALE 1" = 20'

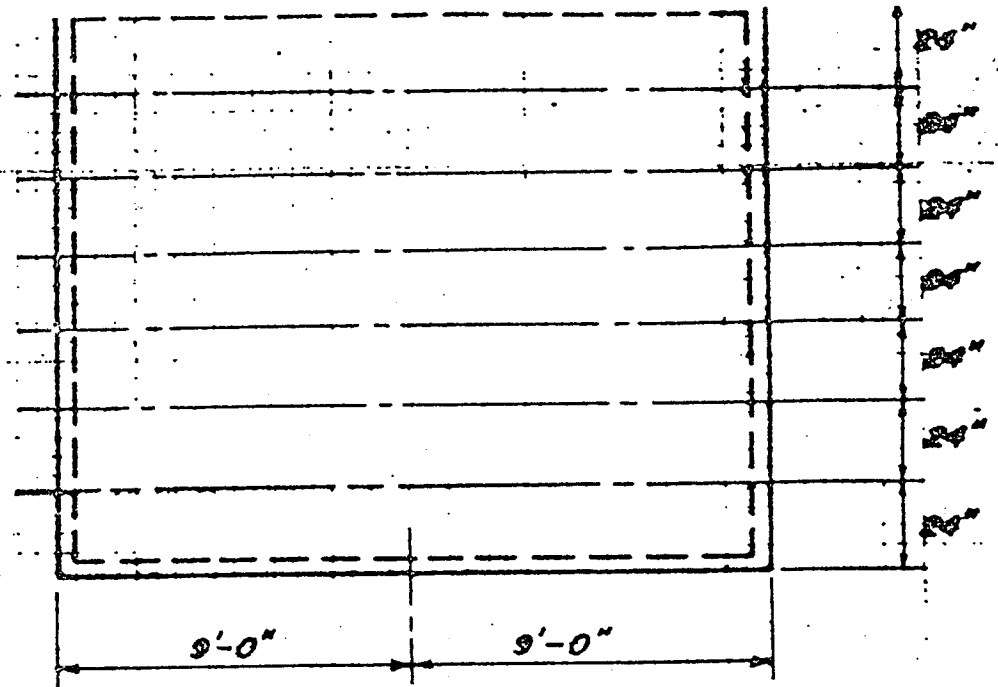
Westvaco Development

DATE

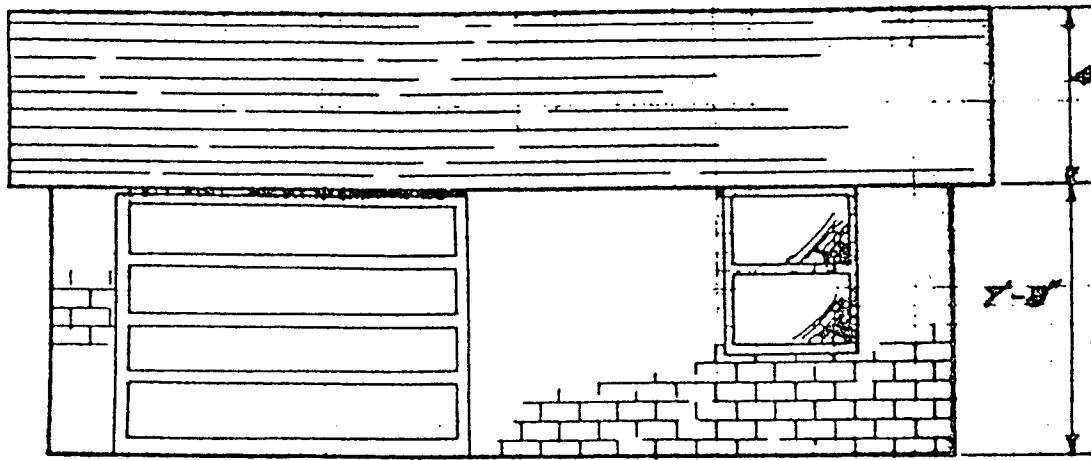
ATTACHMENT - D EXAMPLE OF SKETCH
SHOWING PROPOSED FENCE AND (OR)
PROPOSED SWIMMING POOL LOCATION
FOR APPROVAL.



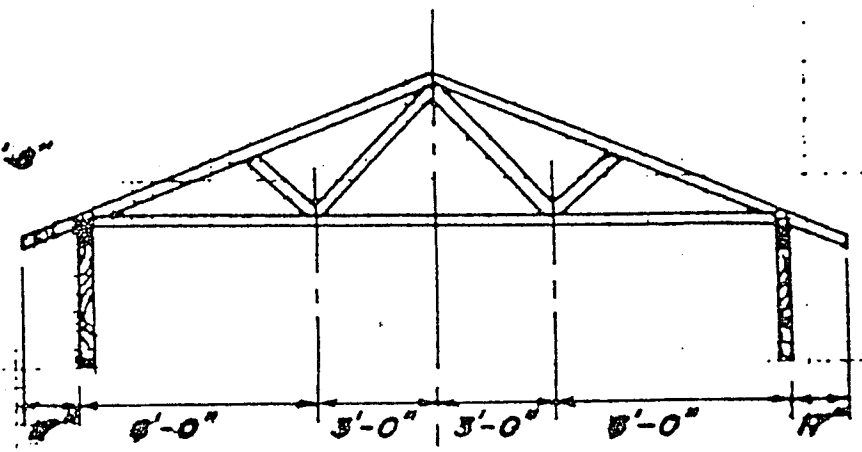
SIDE ELEVATION



TRUSS LAYOUT

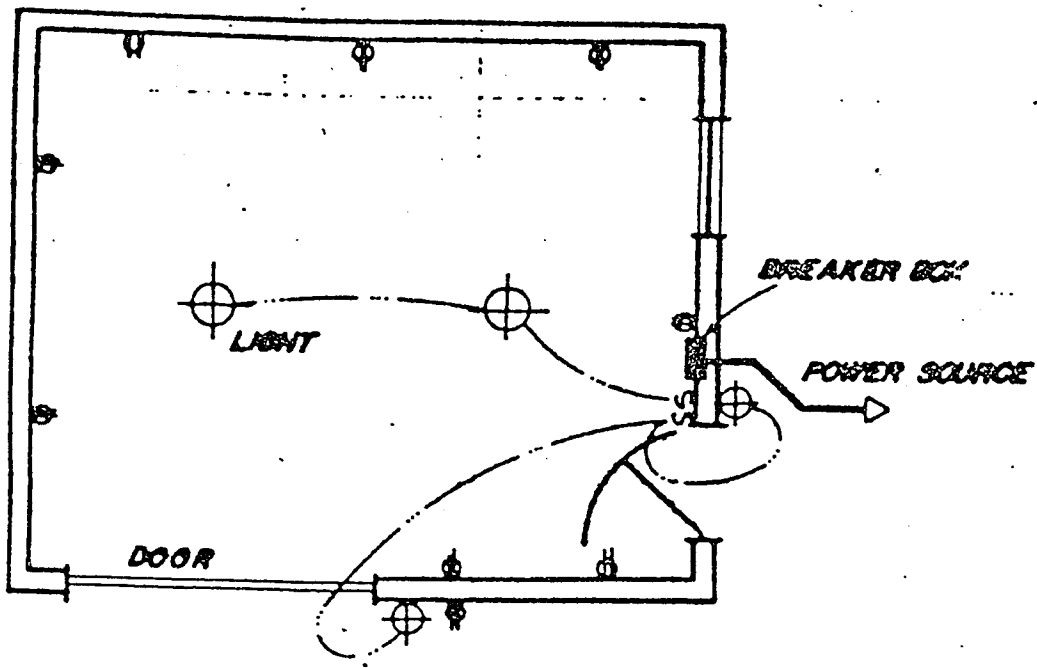


FRONT ELEVATION



ROOF SECTION

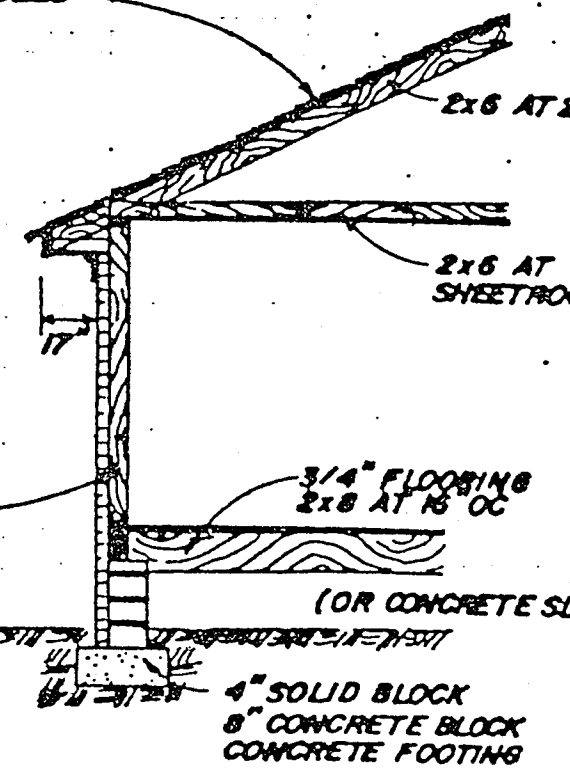
ATTACHMENT - E EXAMPLE OF DETAILS
REQUIRED FOR OUTBUILDING APPROVAL



ELECTRICAL LAYOUT

FIBERGLASS SHINGLES
 15 # FELT
 3/4" SHEATHING

BRICK VENEER
 1" AIR SPACE
 3/4" SHEATHING
 2x3 AT 16" O.C.
 SHEET ROCK



TYPICAL WALL SECTION

ATTACHMENT - E EXAMPLE OF DETAILS
 REQUIRED FOR OUTBUILDING APPROVAL