

MARGARET L BAILEY
DORCHESTER COUNTY
REGISTER OF DEEDS

201 Johnston Street ~ Saint George, SC 29477 (843) 563-0181

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***** ELECTRONICALLY RECORDED DOCUMENT *****

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Direct- ASHBOROUGH EAST HOMEOWNERS

Total Pages: 47

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***** EXAMINED AND CHARGED AS FOLLOWS *****

Recording Fee: \$52.00

Tax Charge: \$0.00



Margaret Bailey

Margaret Bailey - Register of Deeds

STATE OF SOUTH CAROLINA

COUNTY OF DORCHESTER

ASHBOROUGH EAST HOMEOWNERS'
ASSOCIATION, INC.RECORDING OF DOCUMENTS PURSUANT TO
THE SOUTH CAROLINA HOMEOWNERS
ASSOCIATION ACT (S.C. CODE ANN. §§ 27-30-
110 TO -170):

1. Pool Rules and Information;
2. Ashborough East Tree Removal and Trimming Criteria;
3. ARB Review Requirements;
4. ARB Review Policy Criteria;
5. ARB Criteria for Outbuilding Approval;
6. Fence Connection Agreement;
7. Driveway Brick Pier Design Guidelines;
8. ARB Guidelines for Approval of Detached Garage Designs;
9. Guidelines for Front Yard Sculpture & Ornament;
10. Camouflaging Backflow Preventers;
11. Tree Removal Review Process for Larger Diameter Trees; and
12. Tree Replacement Requirements.

CROSS REFERENCE: *DECLARATION OF COVENANTS AND RESTRICTIONS FOR ASHBOROUGH EAST SUBDIVISION, DORCHESTER COUNTY, S.C., AND PROVISIONS FOR THE ASHBOROUGH EAST HOMEOWNERS' ASSOCIATION, INC., recorded in Book 391, Page 210.*

WHEREAS, the South Carolina Homeowners Association Act (S.C. Code Ann. §§ 27-30-110 to -170) requires Homeowners Associations to record Governing Documents, Rules, Regulations, and amendments thereto; and

WHEREAS, the Declaration of Covenants and Restrictions for Ashborough East Subdivision, Dorchester County, S.C., and Provisions for the Ashborough East Homeowners' Association, Inc. was recorded on October 2, 1979 in the Office of the Dorchester County Clerk in Deed Book 391 at Page 210 (as amended and supplemented, the "**Declaration**"); and

WHEREAS, pursuant to the Declaration, Ashborough East Homeowners' Association, Inc. is the Homeowners Association for Ashborough East Subdivision; and

NOW THEREFORE, Ashborough East Homeowners' Association, Inc. does hereby record the following pursuant to the South Carolina Homeowners Association, Act:

1. Pool Rules and Information, attached as **Exhibit A**

2. Ashborough East Tree Removal and Trimming Criteria, attached as **Exhibit B**
3. ARB Review Requirements, attached as **Exhibit C**
4. ARB Review Policy Criteria, attached as **Exhibit D**
5. ARB Criteria for Outbuilding Approval, attached as **Exhibit E**
6. Fence Connection Agreement, attached as **Exhibit F**
7. Driveway Brick Pier Design Guidelines, attached as **Exhibit G**
8. ARB Guidelines for Approval of Detached Garage Designs, attached as **Exhibit H**
9. Guidelines for Front Yard Sculpture & Ornament, attached as **Exhibit I**
10. Camouflaging Backflow Preventers, attached as **Exhibit J**
11. Tree Removal Review Process for Larger Diameter Trees, attached as **Exhibit K**
12. Tree Replacement Requirements, attached as **Exhibit L**

(collectively, the "**Documents**")

The Board of Directors of Ashborough East Homeowners' Association, Inc. hereby unanimously adopts, re-adopts, ratifies, and validates the Documents this 18 day of February, 2019:

Board of Directors of Ashborough East Homeowners' Association, Inc.:

By: [Signature]
Print Name: DOUBAUS

By: [Signature]
Print Name: RON JONES

By: [Signature]
Print Name: JERRY K. STOUT

By: [Signature]
Print Name: Catherine M. Parker

By: [Signature]
Print Name: Chris Douglas

The Documents are being recorded in an effort to ensure compliance with the recording requirements Homeowners Association Act; however, nothing herein shall be construed as an admission that some or all of the Documents are required to be recorded under the requirements of the Homeowners Association Act.

IN WITNESS WHEREOF, Ashborough East Homeowners' Association, Inc. has by its duly authorized officers set its hand and seal this 29th day of April, 2019, and by doing so certifies, acknowledges, and affirms that the Board of Directors has unanimously adopted, re-adopted, ratified, and validated the Documents as of the 18th day of February, 2019.

[SIGNATURE PAGES TO FOLLOW]

SIGNED SEALED AND DELIVERED
in the presence of:

Beth Norah
(witness #1)

Dan Pasley
(witness #2)

ASHBOROUGH EAST
HOMEOWNERS' ASSOCIATION, INC.

By: [Signature] (L.S.)

Print Name: Dan E. Bass

Its: President

STATE OF SOUTH CAROLINA)
COUNTY OF Charleston)

ACKNOWLEDGEMENT

I, Diane Quaranta, Notary Public for the State of South Carolina, do hereby certify that Ashborough East Homeowners' Association, Inc., by Dan E. Bass, its President, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal this 15th day of April, 2019.



[Signature]
Notary Public for South Carolina
My Commission Expires: June 05, 2025

SIGNED SEALED AND DELIVERED
in the presence of:

Paul H. H.
(witness #1)

ASHBOROUGH EAST
HOMEOWNERS' ASSOCIATION, INC.

By: Jerry K. Stout (L.S.)

Print Name: JERRY K. STOUT

Its: Secretary

STATE OF SOUTH CAROLINA)
COUNTY OF Dorchester)

ACKNOWLEDGEMENT

I, FRANKLIN H. HARRIS, Notary Public for the State of South Carolina, do hereby certify that Ashborough East Homeowners' Association, Inc., by Jerry K. STOUT, its Secretary, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal this 29th day of April, 2019.

Paul H. H.
Notary Public for South Carolina
My Commission Expires: 9/6/2028

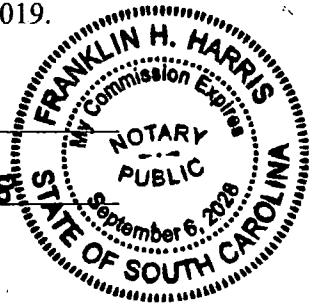


EXHIBIT A**Ashborough East (AE) Homeowner Association, Inc. Pool Rules and Information 2018****NO LIFEGUARD ON DUTY/ SWIM AT YOUR OWN RISK****DATES and HOURS OF OPERATION:**

May 1-Aug 18 6:00am-9:00pm Aug 19-Sept 30 6:30am-8:00pm **hours may increase pending DHEC*

Residents **15 and over** will have access to the pool.

Residents **under 15 yrs of age** must be accompanied by a parents or guardian (18 yrs of age and over)

Anyone not following the rules and regulations will lose their privilege to use the pool (key fob will be deactivated).

RULES:

1. **Guests – Only (4) guests per household;** guests beyond 4 require \$2 per person remitted to AEHA Treasurer or Halcyon
2. **Personal Hygiene**
 - Everyone is requested to shower before entering the pool.
 - Persons with skin infections or open wounds will not be permitted in the pool.
 - Swimmers with a cold, virus, communicable disease, ear or nasal discharge are not allowed in the pool.
3. **Swimming attire**
 - Bathing suits required.
4. **Pool use**
 - A swimming lane will be provided and the lane should be cleared when in use.
 - The pool must be cleared at the first sound of thunder or upon seeing lightning.
 - The use of lifesaving equipment is for emergency purposes only.
5. **Swimming aides and toys**
 - Flotation aides are permitted for non-swimmers.
 - Ball playing shall not endanger other patrons.
 - Small rafts are allowed when the pool is not crowded.
6. **Behavior/Actions NOT permitted**
 - Running, pushing, boisterous or rough play is not permitted in the pool or general area.
 - The use of profanity or disrespect to any pool attendees is prohibited. Those individuals will be asked to leave and pool privileges may be revoked. Contact the Halcyon with number posted near the emergency phone to make a report about an issue. Do not use the pool phone, as this is a direct line to 911.
7. **Miscellaneous**
 - Keep pool gate closed at all times. Do not open the gate for others without a key fob.
 - Chairs and lounges are not permitted within 5 feet of the pool.
 - Stereos & other electronic devices may not be played at loud level. Use of earphones is encouraged.
 - No food and drinks in the pool. Chewing gum is not allowed in the entire pool area.
 - No smoking is permitted in the entire pool area.
 - Glass containers are not allowed anywhere in pool area.
 - Alcoholic beverages are not permitted in pool area. (Any person who appears intoxicated will be asked to leave the premises).
 - Firearms are not permitted in pool area unless they are carried by an officer of the law on official business.
 - Neither the AEHA nor any of its subordinate committees will be responsible for loss of money or other valuables.
 - Service animals allowed on pool deck but not allowed in the pool. Any animal being a nuisance to other patrons may be asked to leave. Resident may stay without animal.
8. **Pool Parties (contact Alicia Siehl for reservations, 843-814-4516)**
 - The cabana can be reserved for \$50.
 - Party must be over 30 minutes prior to closing.
 - There are certain restrictions for parties so please plan accordingly.

In case of an emergency, please use the phone marked emergency (911) located on the pool house beside the water fountain.

EXHIBIT B

Ashborough East Tree Removal and Trimming Criteria

Trees represent an important asset to our community. They provide our community with an established appearance which enhances property values. During summer, they provide cool refreshing shade and reduce home air conditioning costs. They provide shelter for birds and other wildlife, improving the ecosystem and delighting young and old alike. Throughout the fall and into the winter, leaves with a variety of textures and shapes change from green to muted browns, reds, and yellows. Trees create a verdant park-like setting, giving an established character to our community. Because trees are important to the maintenance of our property values and community, their removal is regulated and requires approval by the Architectural Review Board (ARB) as authorized by the Ashborough East Community Covenants (Article VII General Provisions, Section h) & Bylaws and the Board of Directors. Ashborough East ARB approval is required for ALL tree removals. In addition, Dorchester County approval is required for removal of trees which are 24" in diameter or larger.

ASHBOROUGH EAST (AE) REVIEW AND APPROVAL REQUIREMENTS

TREE REMOVAL: Tree trunk diameter determines whether ARB review is required. Trees which are 2" in diameter or less at chest height (48") are exempted from ARB review and may be removed at the discretion of the homeowner. All other trees require ARB review. Trees must be site-inspected and approved by an ARB representative prior to removal. Forms for removal request and site review can be obtained from the Ashborough East website (www.ashborougheast.org), or by calling 821-1275.

Tree removal criteria applied by the ARB are simple and straightforward. An ARB representative can approve a removal, after having conducted a site review, if:

- 1.) The tree is dead or gives evidence of dying;
- 2.) The tree is tipping dangerously over or toward a house;
- 3.) The tree roots are causing visible damage to a house, driveway, or sidewalk;
- 4.) The tree is located in an area where the ARB has approved construction of a swimming pool, outbuilding, or fence or other major structural or property addition;
- 5.) The tree canopy and root system are adversely affecting lawn growth or appearance
 - a. Note: Homeowners must commit to lawn re-sodding, heavy lawn reseeding, or planting of acceptable and durable ground cover if they wish to improve lawn or groundcover growth and appearance by removing trees. The supplemental ARB lawn/groundcover remediation form must be included with the standard ARB tree removal form.

These criteria are applied strictly in front yards. More latitude of interpretation is applied in rear yards, which are out of public view. A homeowner's willingness to replace a tree or re-landscape an area where tree removal is requested is encouraged by the ARB. Trees may not necessarily be approved for removal solely for cosmetic reasons, such as the belief that some trees are "crowding out" other trees, or because of the opinions of landscapers or tree removal services.

TREE TRIMMING: ARB approval (requiring a separate ARB tree trimming form) is required if:

- 1.) removal of more than 25% of the existing crown of a tree is planned, and/or
- 2.) removal of limbs 6" in diameter or larger is planned.

Lower limbs of trees which are less than 6" in diameter may be removed without ARB approval, provided tree service personnel **DO NOT USE SPIKES** on shoes to climb trees to remove branches. This practice, called "spiking", while convenient for tree service personnel, is a common cause of insect infestation, disease, and tree death. Delimbing a tree to cause tree death is absolutely forbidden.

The ARB is committed to working with, balancing, and evaluating the needs and situations of each applicant fairly with due consideration of precedent and the Ashborough East Community Covenants & Bylaws.

DORCHESTER COUNTY REVIEW AND APPROVAL REQUIREMENTS – for 24" diameter or larger Trees

Trees which are 24" in diameter or larger also require Dorchester County approval. Please refer to the Large Tree Removal Permit procedure posted in the ARB section of the Ashborough East website for further information. An approved Dorchester County Tree Removal Permit must be included with any Ashborough East ARB Tree Removal application for these trees.

DEBRIS REMOVAL REQUIREMENT

All portions of downed trees must be removed from homeowner properties and not deposited within or adjacent to lands surrounding Ashborough East. All debris must be deposited in approved landfill sites per local ordinance. All stumps must be cut down to ground level ("grade"). Stump removal by grinding out is recommended.

VIOLATION

Violation of the Ashborough East ARB and/or Dorchester County review processes (i.e., unauthorized tree removal or intentionally creating conditions to cause tree death) can have serious legal and financial consequences. Please contact the ARB at 821-1275 if you have any questions.

Tree Identification

The following information was developed to help homeowners determine the difference between TREES (ARB removal approval required) and SHRUBS (ARB removal approval not required) growing within Ashborough East.

Ashborough East Tree List

(species requiring ARB approval for removal)

1. Apple (ornamental & fruiting varieties)
2. Ash (Green and Mountain)
3. Bald Cypress
4. Beech
5. Birch (River and White)
6. Black Tupelo
7. Cedar
8. Cherry (ornamental & fruiting varieties)
9. Chinese Tallow (Popcorn Tree)
10. Crabapple
11. Dogwood (Flowering & Kousa)
12. Elm
13. Ginkgo
14. Golden Rain Tree
15. Hackberry
16. Hemlock
17. Honey Locust
18. Hornbeam (also known as Ironwood)
19. Japanese Zelkova
20. Linden
21. Magnolia ("Grandiflora", "Soulangeriana", etc.)
22. Maple (Red, Silver, Norway, Sugar, Japanese)
23. Mimosa
24. Oak (all varieties)
25. Palmetto
26. Peach (ornamental & fruiting varieties)
27. Pear (ornamental & fruiting varieties)
28. Pecan
29. Pine (all varieties)
30. Plum (ornamental & fruiting varieties)
31. Redbud
32. Sassafras
33. Sourwood
34. Sweetgum (ARB is more lenient in approving Sweetgum removals)
35. Sycamore (including London Plane-Tree)
36. Tulip Tree
37. Walnut
38. Willow

The above flora are identified as TREES in Landscape Plants of the Southeast*, R. Gordon Halfacre and Anne R. Shawcroft, (1979), Sparks Press, Raleigh, NC.

Definitions of Tree, Shrub, and Bush

(from Webster's 3rd New International Dictionary, editor in chief Philip Babcock Gove, Ph.D., Merriam-Webster Inc., Springfield, MA (1993))

A. Tree

"A woody perennial plant having a single main stem that may be short, but is usually considerably elongated, has generally few or no branches on its lower part, and is crowned with a head of branches and foliage" (p. 2435)

B. Shrub

"A low, usually several-stemmed woody plant" (p.2108)

C. Bush

"A low densely branched shrub, suggesting a single plant." (p.301)

Examples of Species of Shrubs

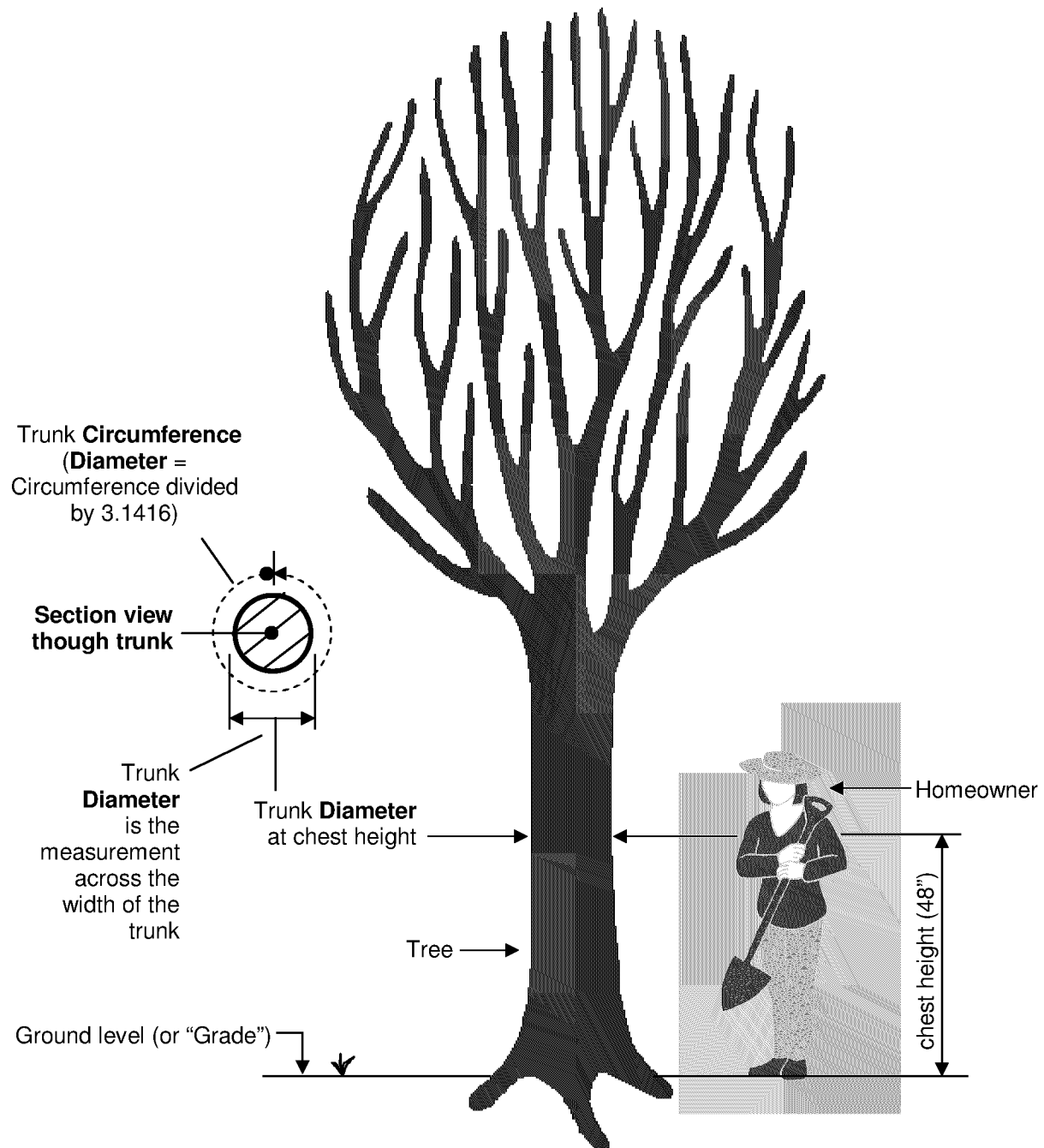
(shrubs do not require ARB approval for removal)

Azalea	Gardenia	Privet
Bamboo	Holly	Quince
Boxwood	Honeysuckle	Raphiolepis
Camelia	Hydrangea	Rhododendron
Cleyera	Jasmine	Rose
Cotoneaster	Juniper	Spirea
Crape Myrtle	Laurel	Star Magnolia
Deutzia	Ligustrum	Sweet Bay
Elaeagnus	Lilac	Viburnum
Euonymus	Oleander	Wax Myrtle
Fatsia	Pampas Grass	Yucca
Firethorn	Pittosporum	
Forsythia	Podocarpus	

The above flora are identified as SHRUBS in Landscape Plants of the Southeast*, R. Gordon Halfacre and Anne R. Shawcroft, (1979), Sparks Press, Raleigh, NC.

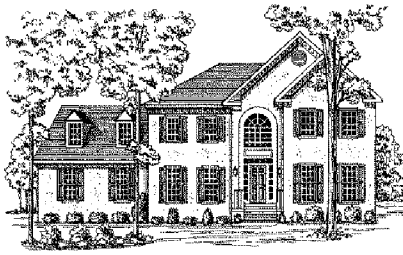
***Notes:**

1. Landscape Plants of the Southeast is available at the Summerville Library under call number "635.9 HAL".
2. Contact John Mojonniere, Chairman – ARB (821-1275), if you have any questions or need help regarding identification of trees or shrubs on your property.
3. Identification information is also available on the Internet, other gardening books (e.g., "Southern Living" series), local master gardeners, landscapers, and the Clemson Extension Service.



Tree Measurement Reference Data

Ashborough East and Dorchester County Tree Policies
(determination of Trunk Diameter)



Ashborough East Architectural Review Board

221 Brandywine Drive
Summerville, SC 29485

Phone/Fax : 843-821-1275

SUPPLEMENTAL AGREEMENT TO REMEDIATE BARE EARTH AREAS AS A CONDITION FOR TREE REMOVAL APPROVAL

I wish to remove one or more trees on my property to eliminate bare earth areas in order to re-establish healthy lawn and/or healthy groundcover growth. I understand that if these trees are approved by the ARB for removal for this reason, the ARB will require that I re-sod, heavily reseed, or plant approved groundcover to eliminate bare earth areas that currently exist around said trees within the time period specified and agreed to below (which can be no later than six (6) months from the date of ARB tree removal approval, per our Community Covenants). I further understand that these areas must be kept in good on-going condition, and if the remediation planting should die, it will be replaced with healthy like landscape material until such time as normal lawn or groundcover growth is sustained on a continuing basis*:

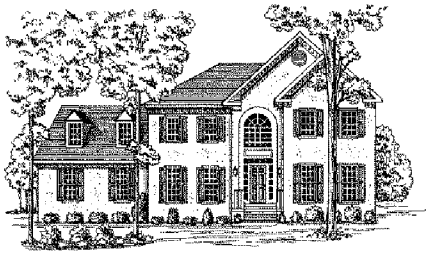
1. A **property plan** is attached with location of subject trees and remediation areas shown.
2. Trees under consideration for removal (indicate species and diameter):
 - a. Tree #1: _____
 - b. Tree #2: _____
 - c. Tree #3: _____
 - d. Tree #4: _____
 - e. Attach supplemental list if other trees are to be included.
3. Type of remediation (type of sod, type of heavy reseeding, or type of groundcover):

4. Area will be remediated by (indicate date): _____
5. Address: _____
6. Phone number: _____
7. Email address: _____
8. Homeowner (print name): _____
9. Signed: _____
10. Date: _____

***Ashborough East Covenants, Article VII, General Provisions:**

"Maintenance Required By Owner

Each Owner shall keep all lots owned by him and all improvements therein or thereon in good order and repair, including but not by way of limitation, the seeding, watering and mowing of all lawns, the pruning and cutting of all trees and shrubbery and the painting (or other appropriate external care) of all buildings and other improvements, all in a manner and with such frequency as is consistent with safety and good property management."

EXHIBIT C

Ashborough East Architectural Review Board
 221 Brandywine Drive
 Summerville, SC 29485

Phone/Fax:
 843-821-1275

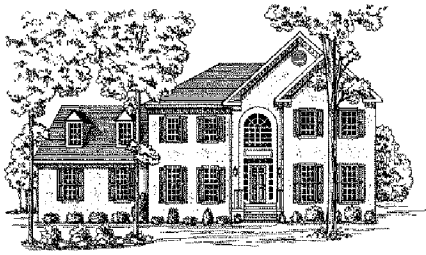
ASHBOROUGH EAST ARB REVIEW REQUIREMENTS

The ARB appreciates the co-operation and efforts of all homeowners in making Ashborough East an attractive and beautiful community. To comply with requirements of the Ashborough East Bylaws and Covenants, all homeowners must request review and receive approval by the Architectural Review Board (ARB) before making changes to the appearance of their homes or lots. The review process is described in AEHA Covenants and Restrictions Article VII (pages 11-17). The ARB review process is applied uniformly without exception, and with fairness to all.

ALL exterior work requires ARB review. The primary ARB goal is to ensure that any new exterior modification will match the style and finish of the existing house, and be compatible with the established appearance of the neighborhood and community.

Some examples of work that require ARB review include the following:

1. **Remodeling**, changes, or additions to the house, including
 - a. Window, door, or dormer changes
 - b. Room or porch additions
 - c. Roof replacements
 - d. House paint color changes (body, trim, shutter, and door colors)
 - e. House siding changes
 - f. Roof gutter and downspout installation
 - g. Porch roofs, canopies, columns, and railings
2. **Tree** removals – for all trees 2" diameter at chest height or larger
3. **Tree** trimming requiring removal of 25% or more of tree crown
4. **Tree** trimming requiring removal of limbs 6" diameter or larger at cut point
5. **Sheds**, outbuildings, or storage units (must follow design, color, and material of main house as outlined in separate guidelines posted on website)
6. **Detached garages** (must follow design, color, and material of main house as outlined in separate guidelines posted on website)
7. **Fences** and gates (material, height, and location)
8. **Play structures** including pre-fab units and tree houses (height, width, length, appearance, and location – see Covenants)
9. **Exterior lighting** (see Covenants)
10. **Swimming or garden pools** (location and site coverage)
11. **Solar panels** (location and appearance)
12. **Porch** additions, remodeling, enclosures, **patio**, **pergola**, or **deck** construction, or **concrete slab** pours (location and appearance)
13. **Driveway** or **sidewalk** expansions or changes (width, site coverage, and location)
14. **Free-standing** elements, such as **Standalone flagpoles** or **Driveway entrance piers**



Ashborough East Architectural Review Board
221 Brandywine Drive
Summerville, SC 29485

Phone/Fax:
843-821-1275

For general information, **the following are not permitted:**

1. Chain link or chicken wire fences
2. Plastic or commercially pre-built wooden or metal storage sheds;
3. Metal roofs
4. Screened pool enclosures
5. Front yard patios
6. Front yard location of children's swings, slides, or other play equipment
7. Front yard ornament exceeding standards outlined in "Front Yard Ornament and Sculpture – Guidelines" (see website).

Homeowners must contact the ARB and submit an application form to the ARB Chairperson to start the ARB review process (forms are available on the website). An ARB member will then arrange a site review to discuss the project and render a decision. Upon project completion, an ARB member will review the work to ensure Covenants compliance.

A listing of ARB documents, application forms, and helpful homeowner information is available on the community website, www.ashborougheast.org.

Architectural Guidelines for Residential Modifications

Ashborough East Homeowners Association, Inc.

GENERAL:

No building, shed, wall, fence, swimming pool or other structure or improvement of any nature, shall be commenced, erected, placed, or altered in any way which materially changes the exterior appearance of the property, or any tree removal commenced, until plans and specifications shall have been submitted to and approved in writing by the Architectural Review Board. Request for approval should be sent to:

Architectural Review Board

Ashborough East Homeowners Association, Inc.

221 Brandywine Drive

Summerville, SC 29485

PHONE: 821-1275

Request should be submitted using FORM A (Structures) and/or FORM A-1 (Trees). Incomplete requests will be returned without action. The Architectural Review process is governed by:

- **Restrictions Article VII** - Ashborough East Community Restrictions & Bylaws (approved 4/10/80)
- **Amendment II – Item 3** (approved 8/23/85)
- **Amendment III – Item 2** (approved 10/7/92)

All homeowners have agreed by law to abide by these restrictions as a condition of sale and residence in Ashborough East. Your real estate agent and lawyer are required by law to give them to you at closing.

INSTRUCTIONS:

1. GENERAL

Submit completed FORM A for structures and FORM A-1 for trees. Use a photocopy of your property plot plan to indicate the exact location of the improvement (including dimensions and distances from side and rear property lot lines) or tree(s). Post-construction audit is required for final approval (see attached).

2. FENCES

Use FORM A. Include your property plot plan, showing exact location of fence, and indicate location and width of gates. Fences cannot extend past the back corner of the house going towards the front lot line. Additionally, Westvaco and Dorchester County strongly urge homeowners not to fence within dedicated drainage easements. However, if you do intend to fence within the easement, an Encroachment Permit must be obtained from Dorchester County (visit Planning & Zoning Dept at the County Services Bldg. (520 N. Main St – Summerville, SC; ph: 832-0020), and submitted with the Fence Request to the Architectural Review Board. See attachments B, D, and F for additional information.

3. PORCH AND DECK ADDITIONS

Use FORM A. Include your property plot plan, showing exact location of the improvement. Working drawings must be included that show construction details of roof, sides, floor, and electrical wiring. Exterior materials, paint color, and roof shingles must match existing structure. An example of working drawings for a porch addition is shown in Attachment C.

4. SWIMMING POOLS

Use FORM A. Include your property plot plan, showing exact location of the pool. Include the pool dimensions, width of deck and distances from all property lines. An example of plot plant with pool is shown in Attachment D. Refer to Covenants for required setback distances. Since fencing is required, show fencing which presently exists or proposed fence location and details per Attachment B.

5. OUTBUILDINGS & EXTERIOR STRUCTURES

Use FORM A. Include your property plot plan, showing exact location of the proposed structure and indicate distances from side and rear property lines. Request must include complete working drawings, showing construction details of the entire building and front, rear, and side elevations. Exterior siding material must match predominant siding material of existing house (example: if house is sided in brick and wood and there is more brick than wood siding, the outbuilding must be sided in brick). Paint color and roof shingles must also match existing house. An example of working drawings for an exterior structure is shown in Attachment E.

6. TREES

Use FORM A-1. Include your property plot plan, showing exact location of proposed tree removals. Please note that tree removal can be approved only if the tree is dead, is causing damage (or could cause immediate damage) to an adjacent house, driveway, or fence, or would be in the way of ARB-approved pool, fence, or outbuilding construction.

Architectural Guidelines for Residential Modifications*Ashborough East Homeowners Association, Inc.***FORM A – Structures Application**

TO: Architectural Review Board
 Ashborough East Homeowners Association, Inc.
 221 Brandywine Drive
 Summerville, SC 29485

FROM:

Name

Address

Telephone Number

Email address

Date

Please review the following information for approval:

Type of improvement, addition, etc.:

Work to be accomplished by (name, address, phone no. of contractor, etc.):

Estimated cost of project: \$ _____

Comment and description of materials to be used:

Completion date of project: _____

Signature of homeowner

(continued next page)

Architectural Guidelines for Residential Modifications

Ashborough East Homeowners Association, Inc.

FORM A – Structures Application

(continued)

This document must be signed as a pre-condition to ARB approval

POST-CONSTRUCTION AUDIT AGREEMENT

I understand that this project will require a post-construction audit by the Architectural Review Board to ensure that as-built conditions comply with Ashborough East Community Covenants and Bylaws.

In the event that the Architectural Review Board determines that the as-built conditions do not comply with Ashborough East Community Covenants and Bylaws, I understand that I am financially responsible, regardless of expense, for all necessary changes to bring the as-built conditions into compliance with Ashborough East Community Covenants and Bylaws.

I have full understanding of the Ashborough East Community Covenants and Bylaws relating to this project, and I understand that it is my responsibility to fully comply with them.

I further understand that our Covenants do not allow posting of Contractor Signs or other general signs on my property either during or after contractor work. Only “For Rent” or “For Sale” signs are allowed as noted in Section VII of our Covenants. I will ensure that no contractor signs will be posted on my property.

(homeowner signature)

(date)

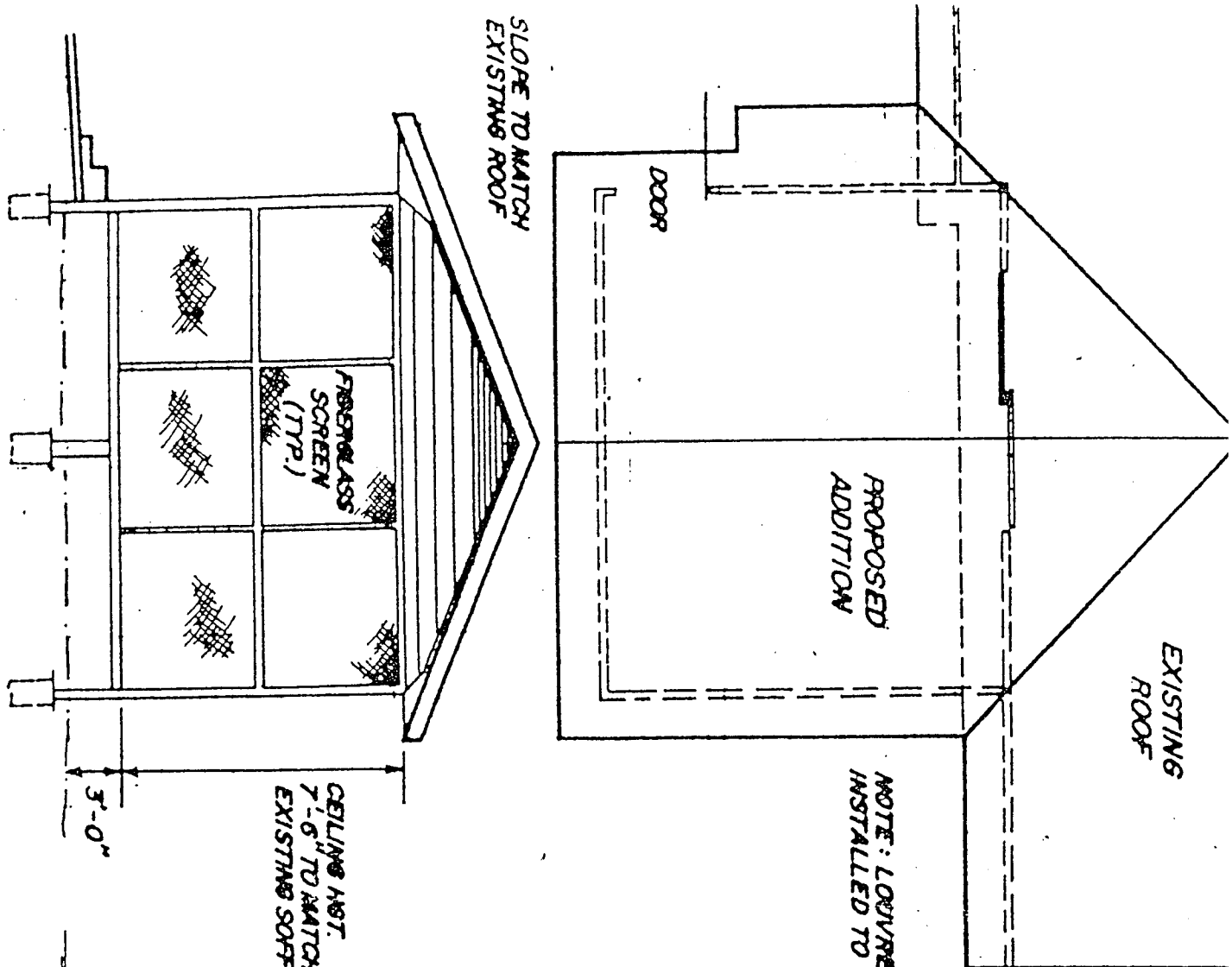
Architectural Guidelines for Residential Modifications

Ashborough East Homeowners Association, Inc.

ATTACHMENT B – Fence Approvals

The following items can apply as stipulations to fence approvals, and any or all could be applicable. Also applicable are Restrictions Article VII, Amendment II – Item 3, and Amendment III – Item 2. These must be adhered to when constructing your fence.

1. Approval is for materials and general location of the fence.
2. It is the responsibility of the homeowner to verify all property corners. All fence location measurements should be made using the metal boundary corner pins of the lot as a reference. Using the house as a reference may lead to an error in fence locations.
3. If the fence has a construction side (upright posts and/or horizontal nailer boards, etc.), the construction side of the fence must face the owner's property.
4. If the fence is to be constructed inside the property line, the owner is responsible for maintaining the area outside the fence to his property line.
5. Fences cannot extend past the back corner (rear building line) of the house going toward the front lot line.
6. If the fence you propose to locate across the rear and side of your lot are within an easement area previously dedicated to Dorchester County for drainage purposes, and/or SC Electric & Gas, Bell South, or other county-approved entity (internet or cable TV provider, etc.) for construction of utility lines, this approval is sub-ordinate to the rights of those entities. Thus, even though the fence may be constructed on your lot but within the easements, the fence is subject to damage, removal, or destruction by Dorchester County or the utility companies, and neither Dorchester County or the utility companies will be responsible for reinstalling removed fencing or replacing damaged or destroyed fencing. The total cost of repairing or replacing the fence located within an existing easement, if so damaged or destroyed, will be the sole responsibility of the lot owner who places the fence within the easements.
7. A typical Dorchester County "Application for Encroachment Permit" is shown in Attachment F.



NOTE: LOUVER AND EYE VENT
INSTALLED TO VENTILATE ROOF

GABLE:
3x4 AT 16" O.C.
1x6 CYPRRESS,
SHIP LAP SIDING,
PAINT TO MATCH
HOUSE TRIM

2x6 HOR TYP.

1x FLOORING
TO FACE FRAME
ASSEMBLY AFTER
SCREEN

FRAME:
4x4 AT CORNERS
2x4 AT 4'-0" O.C.
ALL TREATED
LUMBER

ROOF:
2x6 FRAME AT 2'-0"
1/2" CDX PLYWOOD
15 # FELT
FIBERGLASS SHINGL
MATCH

CEILING:
2x4 AT 2'-0" O.C.
3/8" AC EXTERK
PLYWOOD

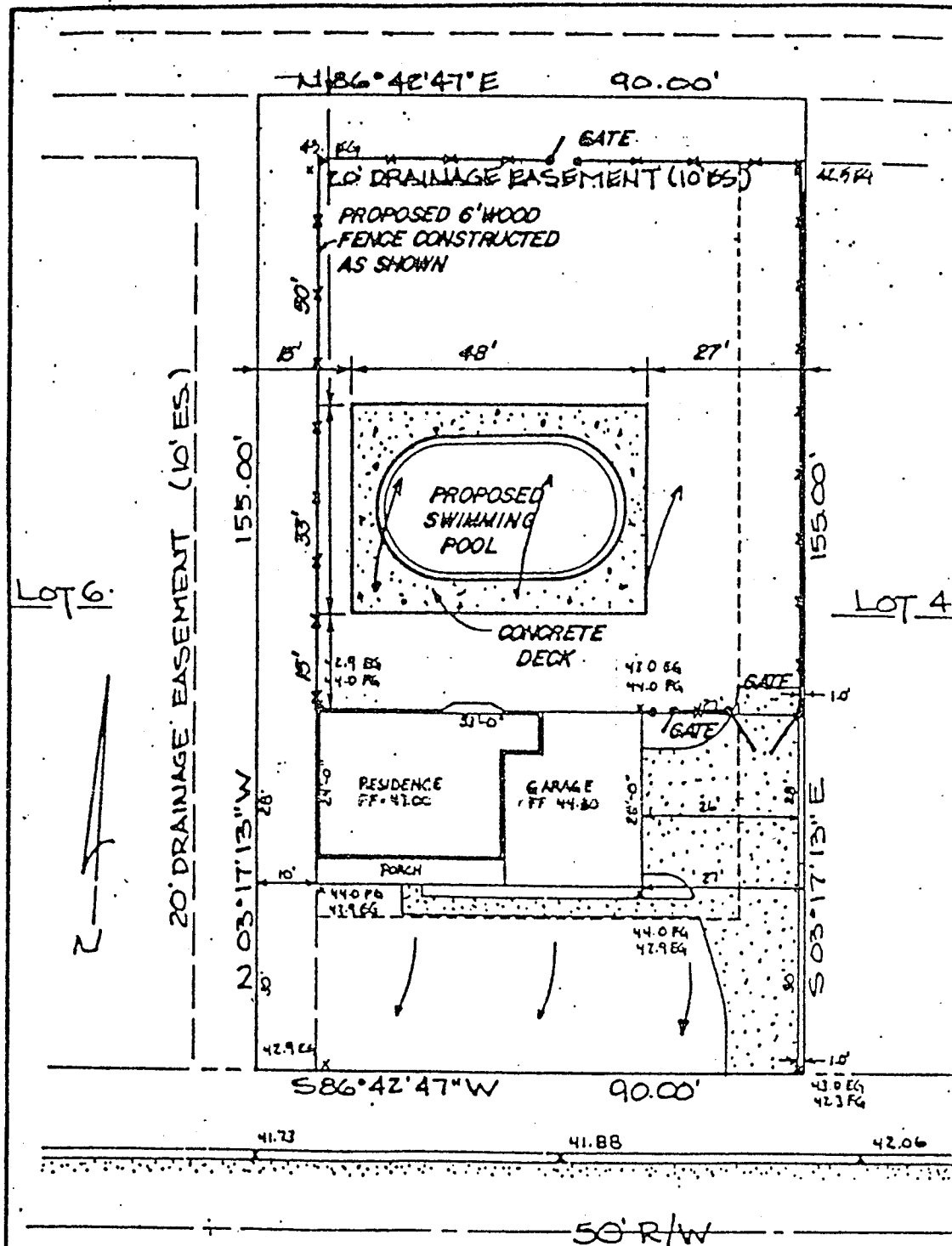
2x8 RAIL NOTCH A
FRAMING TYP. ALL

36" A.F.F.

FLOOR JOISTS 2x8
16" O.C.
DECK 1x6 TREATED

CONCRETE FOOTING

ATTACHMENT - C EXAMPLE OF CONSTRUCTION
DETAILS REQUIRED FOR PORCH OR DECK
ADDITIONS



PLOT PLAN SHOWING LOT ,BLOCK
SUBDIVISION.

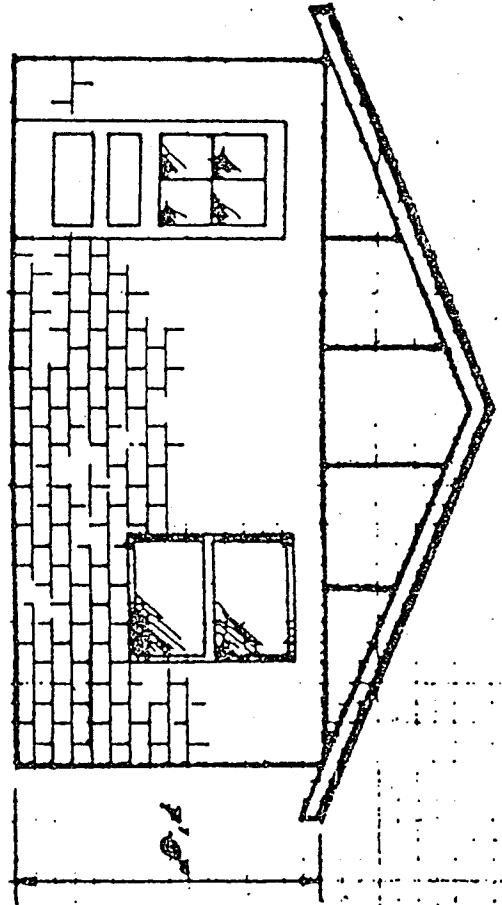
LOCATED IN

SCALE 1" = 20'

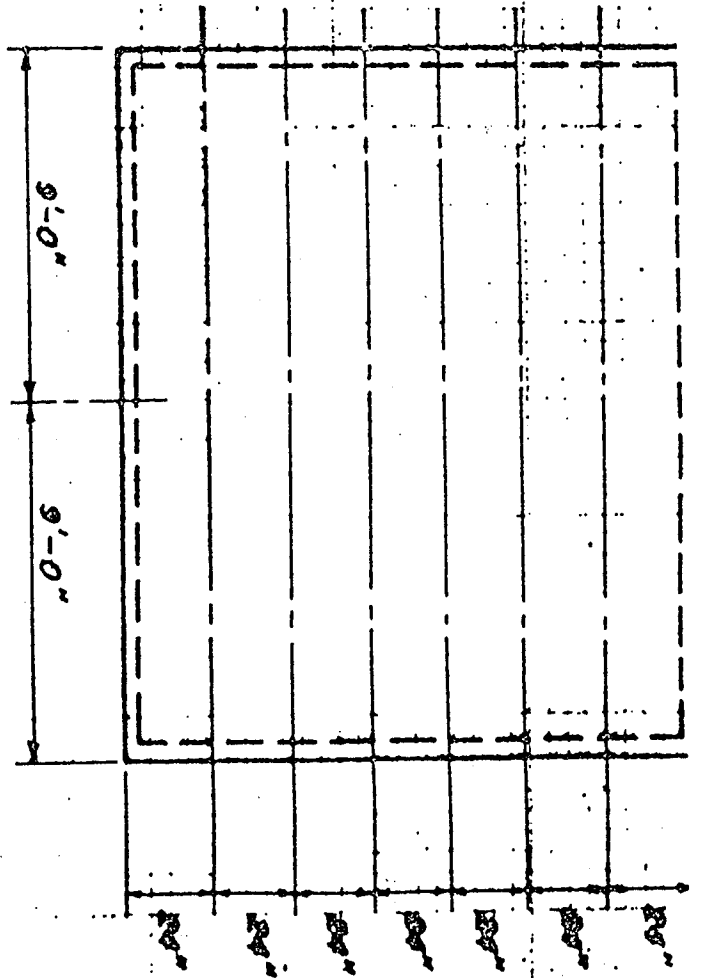
Westvaco Development

DATE

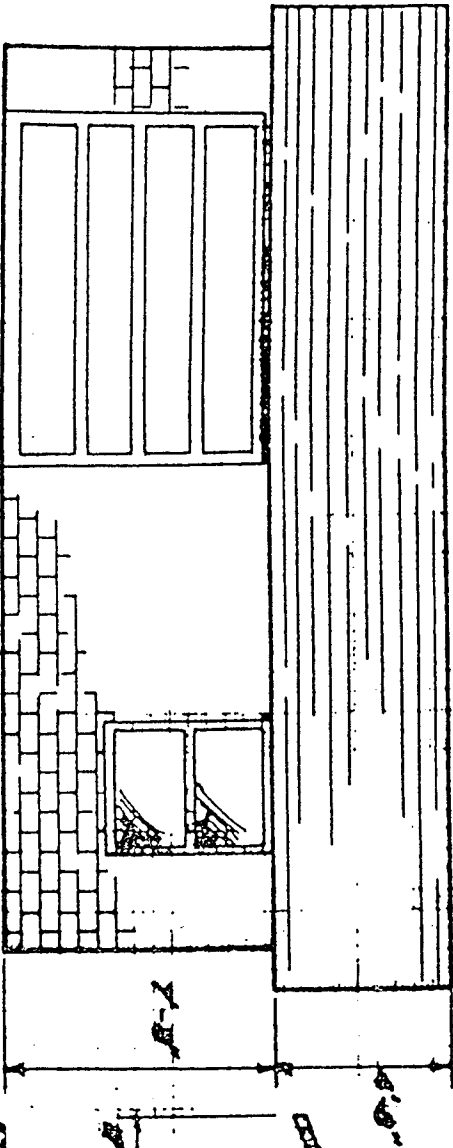
ATTACHMENT - D EXAMPLE OF SKETCH
SHOWING PROPOSED FENCE AND (OR)
PROPOSED SWIMMING POOL LOCATION
FOR APPROVAL.



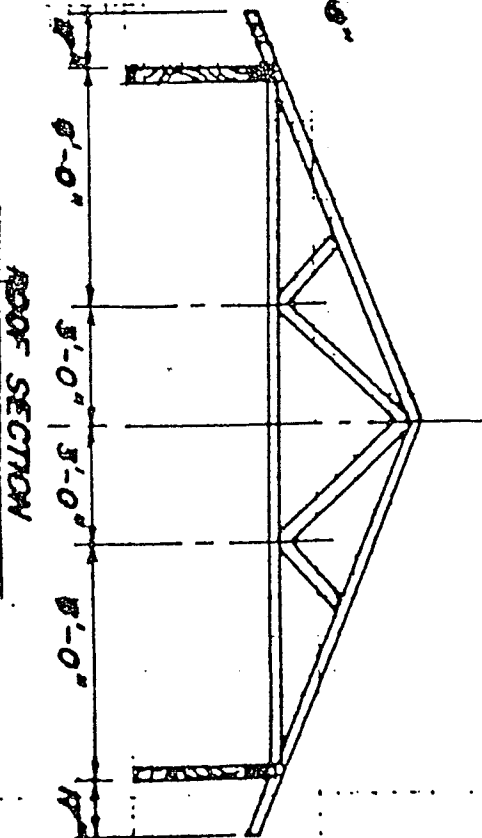
SIDE ELEVATION



TRUSS LAYOUT

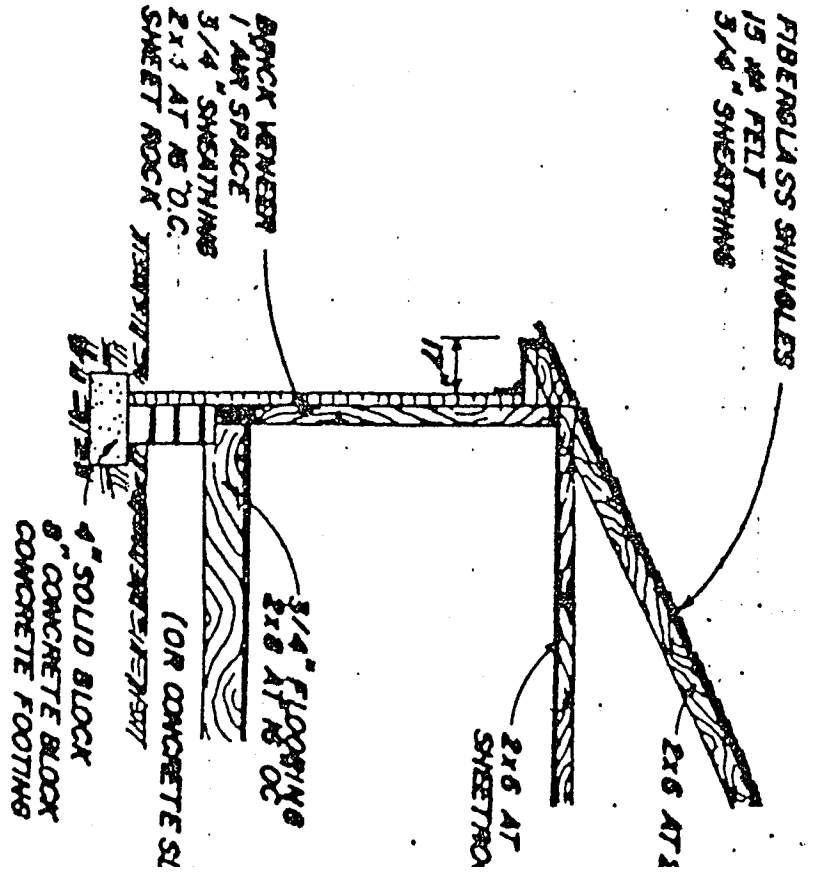
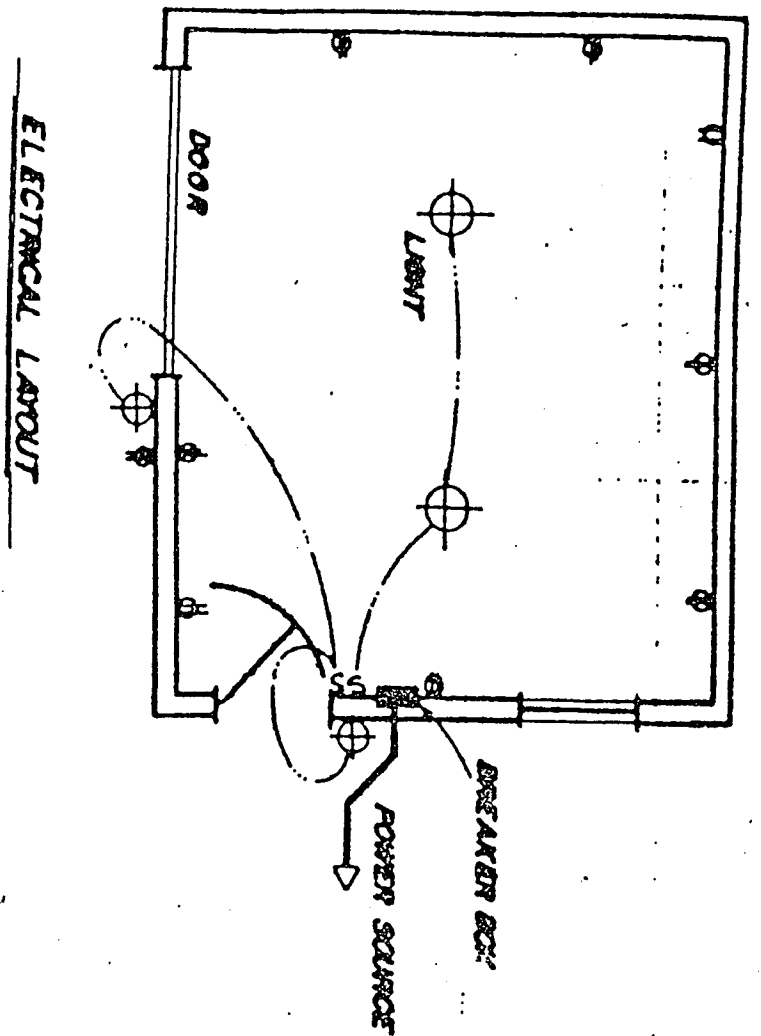


FRONT ELEVATION



ROOF SECTION

ATTACHMENT - F EXAMPLE OF DETAILS
REQUIRED FOR OUTBUILDING APPROVAL



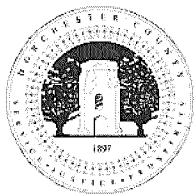
ATTACHMENT - E EXAMPLE OF DETAILS
REQUIRED FOR OUTBUILDING APPROVAL

ATTACHMENT F

Print Form

Submit by Email

APPLICATION FOR ENCROACHMENT PERMIT

**Dorchester County Public Works****Transportation Department**

2120 East Main Street, Dorchester, SC 29437

(843) 832-0070 office – (843) 832-0064 fax

(842) 563-0070 office – (843) 563-0064 fax

Applicant Name: _____ Road Name: _____

Address: _____ Subdivision: _____

City, State & Zip: _____ Nearest Int. Rd. _____

Contact Number: _____ Email Address: _____

1. The undersigned applicant hereby applies to Dorchester County Public Works and the Transportation Department for a permit to encroach on the County right-of-way or easement as shown and described herein:
2. Encroachment Type: ☐ Driveway ☐ Fence ☐ Other: _____
3. Description and details of proposed encroachment and installation (attach drawings showing the encroachment on the right-of-way or easement).
4. The undersigned applicant hereby requests Dorchester County Public Works and the Transportation Department to permit encroachment on the County's right-of-way or easement as described herein. It is expressly understood that the encroachment shall be installed in accordance with the description and details attached hereto and made a part hereof, including the General Provisions and Special Provisions. The applicant agrees to assume any and all liability that may be caused by the construction, maintenance, use, moving or removing, of the physical appurtenances contemplated herein and agrees to indemnify Dorchester County from any liability incurred or injury or damage sustained by reason of the past, present, or future existence of said appurtenances.

Applicant Printed Name & Date: _____

Applicant(s) Signature & Title: _____

Area Below For County Use Only:

In compliance with your request and subject to all the provisions, terms, conditions, and restrictions stated in the application and special provisions below or attached hereto, the County approves the request. This permit is valid for a period of twelve (12) months from the date of approval.

Special Provisions: _____**Approved by & Date:** _____

Print Name & Title: _____

APPLICATION FOR ENCROACHMENT PERMIT

Encroachment Permit General Provisions

1. **NOTICE PRIOR TO STARTING WORK:** Before starting the work contemplated, the County shall be notified 24-hours in advance so that a representative may be present while the work is underway.
2. **PERMIT SUBJECT TO INSPECTION:** This permit shall be kept at the site of the work at all times while said work is underway and must be shown to any representative of the County or law enforcement office upon request.
3. **PROTECTION OF PUBLIC:** Adequate provisions shall be made for the protection of the public at all times. Where applicable, necessary detours, barricades, warning signs, and flagmen shall be provided by and at the expense of the permittee and shall be in accordance with the South Carolina Manual on Uniform Traffic Control Devices. The work shall be planned and carried out so that there will be the least possible inconvenience to the public. The permittee agrees to observe all rules and regulations of the County while carrying on the work contemplated herein and take all other precautions that circumstances warrant.
4. **STANDARDS OF CONSTRUCTION:** All work shall conform to approved plans and recognized standards of construction and shall be performed in a workmanlike manner. Adequate provisions shall be made for maintaining proper drainage. All work shall be subject to the supervision and satisfaction of the County.
5. **FENCES:** Privacy fences must be a minimum of three inches (3") above finished grade and at least three feet (3') from drainage structures within easements. Fences must comply with Dorchester County Planning and Zoning requirements and regulations.
6. **PAVEMENT CUTS AND ROADWAY SURFACE:** No pavement shall be cut unless specifically authorized herein. When pavement cuts are approved the following standards must be followed unless stated otherwise. After excavation of pavement cut, ditch is to be completed with flow-able fill or compacted to 95% density in layers not exceeding eight inches (8"), the last eight inches (8") of fill material shall be suitable aggregate base per SCDOT standard specifications latest edition, or three inches (3") asphaltic base material. A suitable surface treatment of two inches (2") of Plant Mix Asphalt shall be placed on surface of said excavation within fourteen (14) days after finishing work.
7. **EXCAVATION:** There shall be no excavation of soil nearer than two feet of any public utility line or appurtenant facility except with the consent of the owner thereof, or except upon special permissions of the County after an opportunity to be heard is given the owner of such line or appurtenant facility.
8. **UTILITY WORK:**
 - a) Work shall be performed in accordance with the SCDOT's "A Policy for Accommodating Utilities on Highway Rights-of-Way."
 - b) Pole(s) and/or Post(s) shall be placed at the distance from the centerline of the right-of-way or easement as specifically stipulated herein.
 - c) All tunneling, boring, or jacking shall be done in such a way as not to disturb the roadway surfacing and maintain a minimum depth of two feet (2') under ditch lines.
 - d) No pavement shall be cut unless specifically authorized herein.
 - e) No excavation shall be nearer than three feet to the edge of pavement unless specifically authorized herein.

APPLICATION FOR ENCROACHMENT PERMIT

- f) Underground facilities will be located at minimum depths as defined in the Utility Accommodations Manual for the surfaces – thirty inches (30”) minimum for communication lines and thirty-six inches (36”) for all other facilities.
 - g) Service and other small diameter pipes shall be jacked, driven, or otherwise forced underneath the pavement.
 - h) Warning tape shall be placed directly over all water lines, sewer lines, force mains, power lines, and fiber optic lines at a depth of eighteen inches (18”) below the finish surface grade.
 - i) No road may be closed unless specifically authorized herein.
9. **MAINTENANCE PERIOD:** The applicant of this permit is responsible for maintaining the excavation for a period of one (1) year after the issuance of this permit. The permittee will be released after one (1) year of satisfactory performance work upon approval of the Public Works Director.
10. **BEAUTIFICATION WORK:**
- a) All trees, plants, flowers, etc., shall be placed in accordance with the provisions specifically stipulated herein.
 - b) All trees, plants, flowers, etc., shall be cared for by and at the expense of the permittee and the provisions of this permit shall become null and void if and when the permittee ceases to properly care for said trees, plants, flowers, etc...
11. **FUTURE MOVING OF PHYSICAL APPURTENANCES:** If, in the opinion of the Public Works Director or his/her appointee, it should ever become necessary to move or remove the physical appurtenances, or any part thereof contemplated herein, on account of repair of drainage facilities, change in location of the roadway, widening of the roadway, or for any other sufficient reason, such relocation shall be done on demand of the County at the expense of the permittee.
12. **RESTORATION OF ROADWAY AND/OR FACILITIES UPON MOVING OR REMOVING PHYSICAL APPURTENANCES:** If, and when, the physical appurtenances contemplated herein shall be moved or removed, either on the demand of the County or at the option of the permittee, the roadway and/or facilities shall immediately be restored to their original condition at the expense of the permittee.
13. **COSTS:** All work in connection with the construction, maintenance, moving, or removing of the physical appurtenances contemplated herein shall be done by and at the expense of the permittee.
14. **PERMITTEE:** The work “Permittee” used herein shall mean the name of the person, firm, corporation, or public utility to which this permit is addressed, as well as his/her/its, heirs, successors, and assigns.
15. **COUNTY:** For the purpose of this permit, the work “Department” and/or “County” shall mean Dorchester County Public Works and the Transportation Department.
16. **ACCESS:** Permittee is responsible for maintaining reasonable access to private driveways during construction.
17. **PERMISSION OF ABUTTING PROPERTY OWNERS:** It is distinctly understood that this permit does not in any wise grant or release any rights lawfully possessed by the abutting property owner(s). Any such rights necessary shall be secured from said abutting property owners by the permittee.
18. **APPROVALS:** The permittee shall be responsible for obtaining any other approvals or permits necessary for installation.

ASHBOROUGH EAST ARB REVIEW POLICY CRITERIA

*for exterior feature changes or modifications to properties in Ashborough East
(with criteria for after-the-fact review and finding when ARB review has been avoided)*

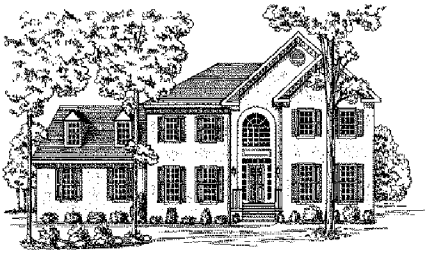
The requirement for ARB review in advance of exterior changes to properties is clearly stated in the Ashborough East Covenants and Bylaws as follows:

“No construction, reconstruction, remodeling, alteration or addition to any structures, building, fence, wall, road, drive, path, or improvement of any nature shall be commenced without obtaining the prior written approval of the Association as to location, plans and specifications. As a prerequisite to consideration for approval, and prior to beginning the contemplated work, two (2) complete sets of building plans and specifications must be submitted to the Association. The Association shall be the sole arbiter of such plans and may withhold approval for any reason, including purely aesthetic consideration. Upon giving approval, construction shall be started and prosecuted to completion, promptly, and in strict conformity with these plans. The Association shall be entitled to stop any construction in violation of these restrictions.”

(Per ARTICLE VII – General Provisions - Approval of Plans by the Association (with authority to the Architectural Review Board per Article VI, Section 1, paragraph e.) as posted to the community website at www.ashborougeast.org)

AVOIDANCE: If a homeowner does not seek ARB review and obtain ARB approval prior to making changes (due to unawareness of the above requirement or an intentional desire to avoid review), the following criteria are applied by the ARB to compel an after-the-fact review and finding:

1. **VISIBILITY:** Is the feature change street-visible? If visible, ARB review is appropriate.
2. **PRELIMINARY ARB CONTACT:** Did homeowner contact the ARB in advance of making the feature change to discuss or ask questions about change-related permissions? If no contact has been made, ARB concern and follow-up is appropriate.
3. **PERMANENCY:** Is the feature change temporary (holiday-related, temporary-event-related, etc.) or permanent? If permanent (i.e., non-holiday or non-temporary-event-related), ARB review is appropriate.
4. **SIZE and SCALE:** Is the feature change large? Is the size of the new element almost as large, as large, or larger than other permanent existing features of the house (windows, doors, dormers, etc.)? Does the scale of the feature change match the proportionate scale of existing architectural elements and detailing? If large, or out-of-scale with existing features, ARB review is appropriate.
5. **CONTEXT:** Does the feature change match the context of the existing architectural elements of the house facade? Does it match the context of surrounding houses? Does it look like it would have been built at the same time as the house? If different from existing context, ARB review is appropriate.
6. **COLOR:** Does the feature change use the same colors as existing façade colors? If different from existing colors (i.e., not matching the same palette; non-harmonious, or clashing with existing colors), ARB review is appropriate.
7. **DETAILING and MATERIALS:** Does the architectural detailing of the feature change match the architectural detailing of existing façade features? Do the materials used in the change match the existing façade materials? If detailing and materials do not match existing features, ARB review is appropriate.

EXHIBIT E

Ashborough East Architectural Review Board
221 Brandywine Drive
Summerville, SC 29485

Phone / Fax : 843-821-1275

ARB CRITERIA FOR OUTBUILDING APPROVAL

1. ARB REVIEW IS REQUIRED BEFORE CONSTRUCTION

All outbuildings must be approved by the ARB through the ARB review process before construction can begin. Ashborough East Covenants Paragraph 4 of Article VII states:

"No construction, reconstruction, remodeling, alteration or addition to any structures, building, fence, wall, road, drive, path, or improvement of any nature shall be commenced without obtaining the prior written approval of the Ashborough East Homeowners Association as to location, plans and specifications. As a prerequisite to consideration for approval and prior to beginning the contemplated work, a complete set of plans and specifications must be submitted to the Association. The Association shall be the sole arbiter of such plans and may withhold approval for any reason, including purely aesthetic consideration. Upon giving approval, construction shall be started and prosecuted to completion, promptly, and in strict conformity with such plans. The Association shall be entitled to stop any construction in violation of these restrictions"

2. EXTERIOR MATERIALS AND COLOR MUST MATCH HOUSE

The exterior material and color of the outbuilding must match the exterior of the residence. Ashborough East Paragraph 2.h of Article VII states:

"The same materials utilized for the exterior and roof of the residence shall also be used for the garage and other structures erected on the premises."

Please note: If, after receiving approval, the homeowner decides at some future date to change any aspect of the exterior of the residence (for example, change roof shingle material or color, change exterior siding material or color, etc.) the same change must also be made on the outbuilding so that it will continue to match the exterior of the residence, and remain in compliance. The Association shall be the sole arbiter as to compliance.

3. OUTBUILDING MUST BE 10 FEET FROM ANY LOT LINE

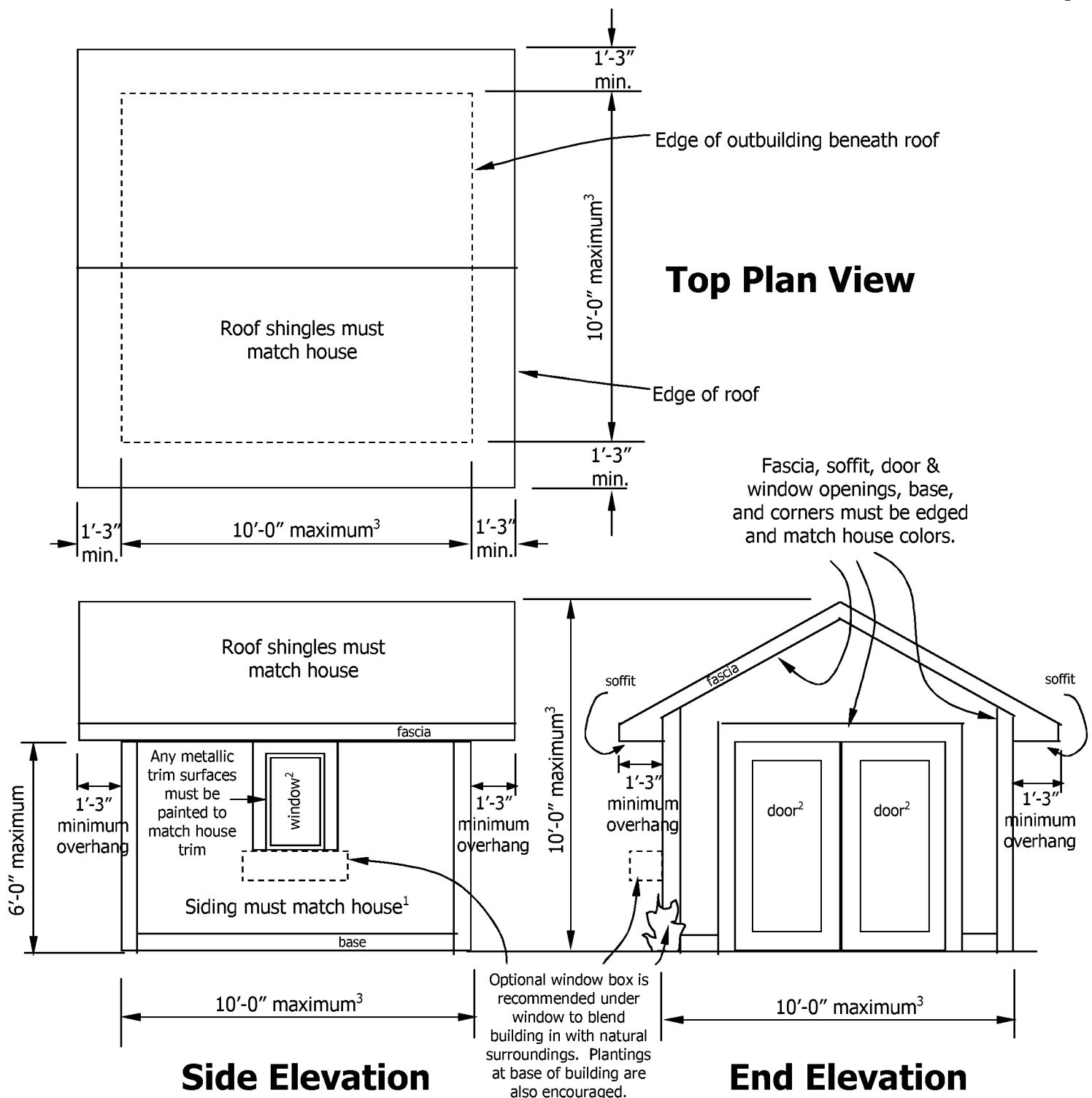
The location of the outbuilding may be no closer than 10 feet from any rear yard lot line. Paragraph 2 of Article VII states:

"No building shall be located on any Lot nearer to the front lot line than as shown on the table attached hereto as Exhibit B (showing front setback distances), or nearer to a side lot line than ten (10') feet."

Furthermore, Paragraph 2.a. of Article VII states:

"The Association reserves the right to select the precise site and location of any structure on each lot and to arrange the same in such manner and for such reasons as the Association shall deem sufficient."

See next page for "Outbuilding Max-Min Dimensional and Finish Guidelines".

**Notes:**

¹If the house is sided in brick, the outbuilding must also be sided in brick. If the house is sided in a combination of brick and wood (or vinyl), the outbuilding can be sided entirely in brick or a combination of brick and wood (or vinyl) with the lower half section of the outbuilding sided in brick. The siding materials on the outbuilding must match the siding materials on the house.

²Location, number, and sizes of doors and windows can vary; these items are shown above for reference only.

³Dimensions less than maximum shown above are encouraged; smaller size outbuildings are lower in initial cost, easier and less costly to maintain, and have a reduced visual impact on the natural surroundings.

Ashborough East Outbuilding Max-Min Dimensional and Finish Guidelines

(for non-garage outbuildings)

Approved by the Board of Directors 4-16-09

Fence Connection Agreement – Ashborough East Architectural Review Board

This is an agreement between the following parties:

1. **Party "A"** - wishing to connect a new fence to an existing fence:

- a. Name..... _____
- b. Address _____
- c. Phone number _____
- d. Email address _____

2. **Party "B"** - owner of existing fence:

- a. Name..... _____
- b. Address _____
- c. Phone number _____
- d. Email address _____

Party "A":

1. I understand that my new fence may extend over my property line to connect to my neighbor's fence, and that I will never claim any of my neighbor's property so enclosed as my own as a consequence of this fence connection. I also understand that I cannot install any vertical fence posts in the ground on my neighbor's property.
2. I understand that Party "B" has the right to terminate this fence connection agreement at any time. If this occurs, I am obligated to erect a like replacement length of fence within my property lines within one (1) month of such termination. Ashborough East will not allow partially completed or open-ended fences in rear yards.
3. I understand that if I sell my property, I will fully advise the new property owners of this agreement, and their requirement to discuss it with, and if amenable, renew it with Party "B".

Party A signature/date: _____

Party "B":

1. I agree to allow the above-named party to connect their new fence to my existing fence.
2. I understand I have the right to terminate this agreement at any time.
3. I understand that if I sell my property, I will fully advise the new property owners of this agreement, and their requirement to discuss it with, and if amenable, renew it with Party "A".

Party B signature/date: _____

NOTE: If either party sells their property, the new property owner/owners must submit an updated and signed version of this fence connection agreement to the Ashborough East Architectural Review Board.

Exhibit G Page 1 of 1

ARB Guidelines for approval of Detached Garage designs in Ashborough East

1. SUBMITTAL, DESIGN REVIEW, and APPROVAL PROCESS:

- a. All submitted plans must be accompanied by the standard Ashborough East Architectural Review Board (ARB) application form for Structures, including a signed copy of the Post-Construction Audit Agreement.
- b. Construction cannot begin until the Garage Design Appearance is approved by the ARB, following a detailed site review.
- c. The garage must have the proper Dorchester County building permits and approvals before construction starts. Responsibility for structural integrity and code compliance of the garage design is the responsibility of the homeowner. Review of the proposed detached garage by the Ashborough East Architectural Review Board is for of Design Appearance Approval only. It in no way implies approval of or responsibility for the structural design of the garage as this approval authority and responsibility is established by law within the jurisdiction of Dorchester County as defined by its building codes.
- d. These plans must be professionally prepared and drawn, and include the following :
 - i. Front and Rear elevation views
 - ii. Right and Left Side elevation views
 - iii. Garage floor plan, showing width and length
 - iv. Second floor plan, if applicable
 - v. Foundation plan
 - vi. Section through building, showing building height
 - vii. Typical wall section
 - viii. Structural detailing
 - ix. Please note that drawings of this type are normally required for Dorchester County building permit approval.

2. **DESIGN GOAL:** The design goal and objective of the ARB is that the detached garage must, when finished, appear to have been built at the same time as the main house. In other words, it must have the same appearance and visual qualities with regard to materials and detailing as the main house.

3. **DESIGN REQUIREMENTS:** On this basis and in compliance with the Ashborough East Community Covenants (Article VII), the following requirements apply:

a. LOCATION and SIZE:

- i. The garage must be located in the rear yard.
- ii. The garage must be 10'-0" or more away from any side or rear lot line.
- iii. Any HVAC (Heating-Ventilating-Air Conditioning) equipment for the garage, if supplied, must not be located in this 10'-0" (or more) buffer zone adjacent to side or rear lot lines.
 1. Central HVAC equipment located at grade must be screened from view, with screening as approved by the ARB.

- 2. Window air conditioners cannot be mounted in windows facing the 10'-0" (or more) buffer zone(s) adjacent to side or rear lot lines.
- iv. The length of the garage can be no more than a nominal framing maximum of 30'-0". Lesser lengths are encouraged.
- v. The width of the garage can be no more than a nominal framing maximum of 24'-0". This is the standard width for a two-car garage.
- vi. The height of garage doors can be no more than 7'-0".
- vii. The garage can have one, one and a half, or two stories.
- viii. The height of the garage can be no taller than the lesser of either the lowest main roof line or 23'-0". The lowest main roof line and height will be identified and determined by the ARB during the site review (see attached illustration for lowest main roof line definition). Lower garage heights are encouraged.

b. RESTRICTED USE:

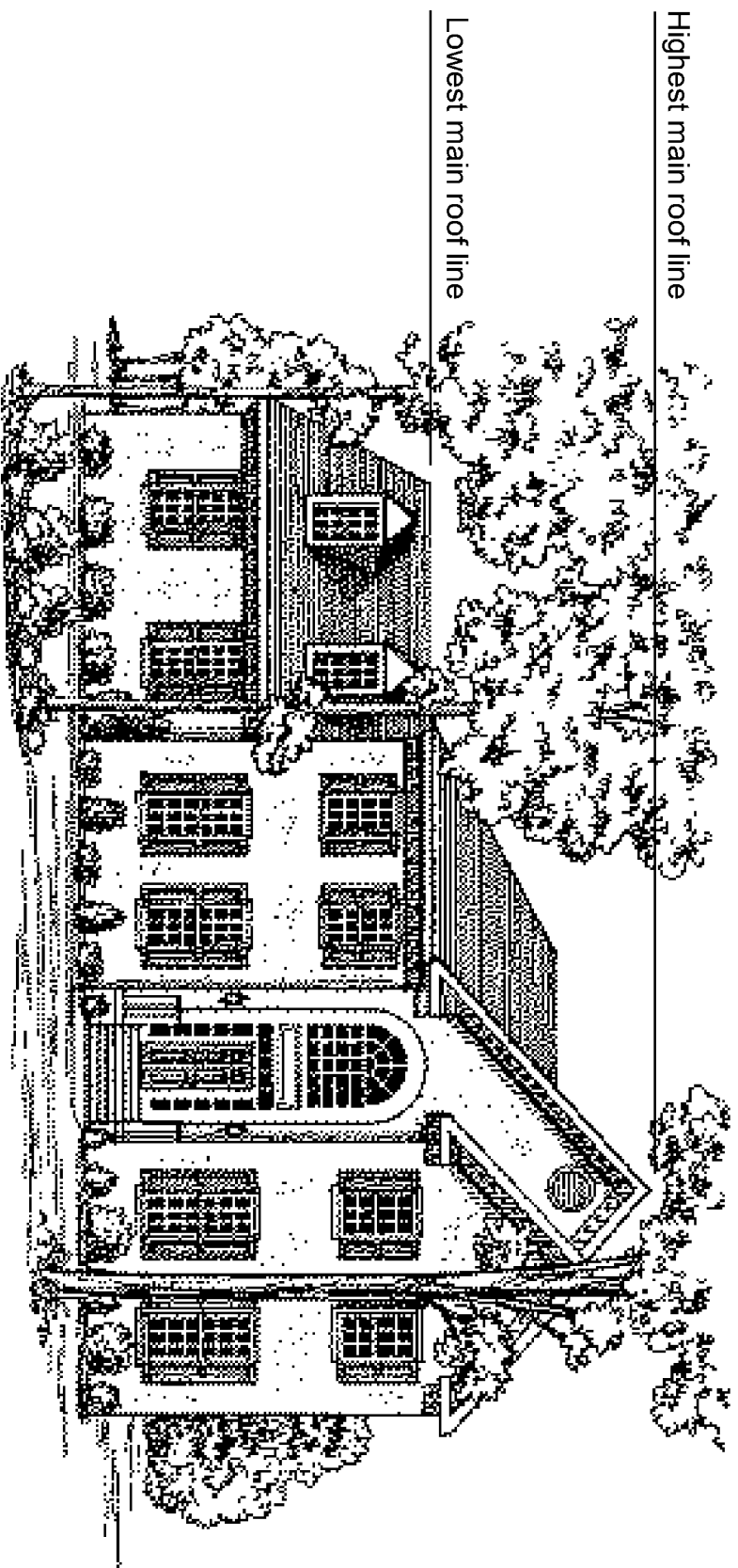
- i. If a second story is included, it can only be used for storage or recreational use, as residential use of a detached garage or any outbuilding is prohibited by the Ashborough East Community Covenants (see Article VII – paragraph entitled "Use of Outbuildings and Similar Structures").

c. GARAGE DETAILING and APPEARANCE:

- i. The roof type (gable, hip, etc.) must match the main house.
- ii. The roof slope must match the house. (Slope is expressed as "rise-to-run", such as 9-to-12 (meaning a rise of 9" to a run of 12"))
- iii. The exterior finish of the garage must match the house, including the following:
 - 1. Roof shingles (color, texture, grade, etc.)
 - 2. Eave detailing (fascia and soffit geometry, size, and color, etc.)
 - 3. Siding material (brick size, color, texture, mortar joint color and profile, lap siding material, orientation, size, color, texture, etc.)
 - 4. Foundation detailing (if present on main house)
 - 5. Windows, shutters, and doors, including framing and trim details around these elements (must match type, proportion, detailing, color, material, texture, etc.)
 - 6. Window sizes and locations on street-facing façades must be balanced in appearance to match similar detailing on the main house.

September 17, 2012 (JM) – rev4

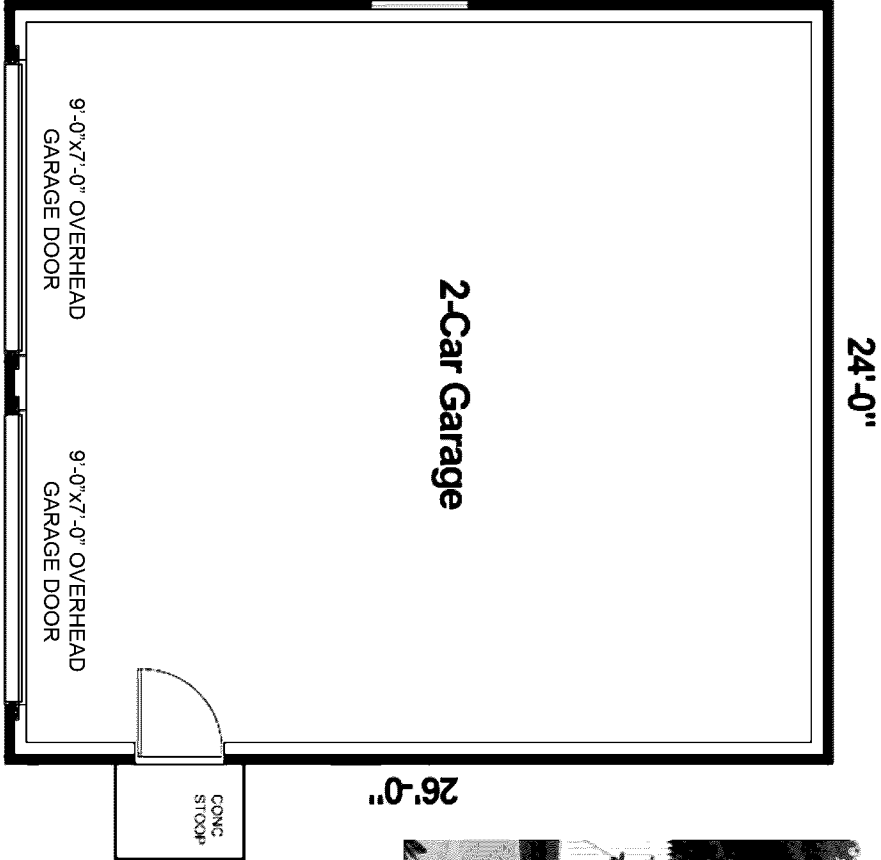
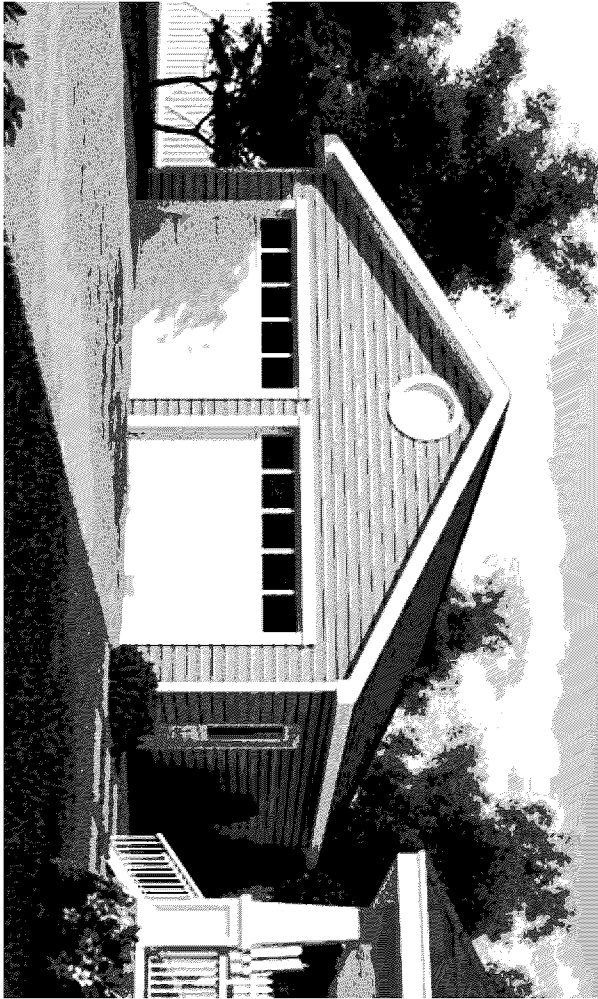
Ashborough East



Determination of lowest main roof line on multi-roof house

Detached garage roof height can be no taller than the lowest main roof line of the house or 23'-0", whichever is less.

Ashborough East



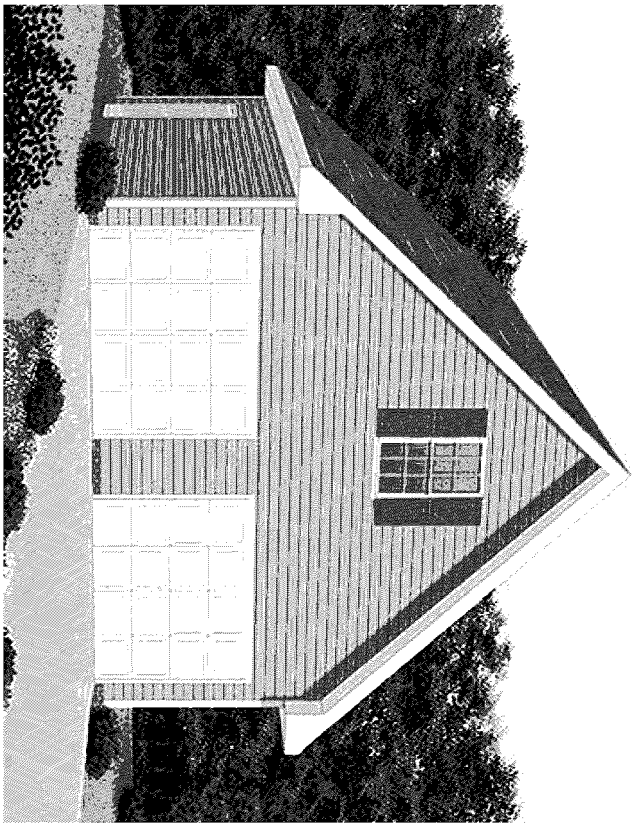
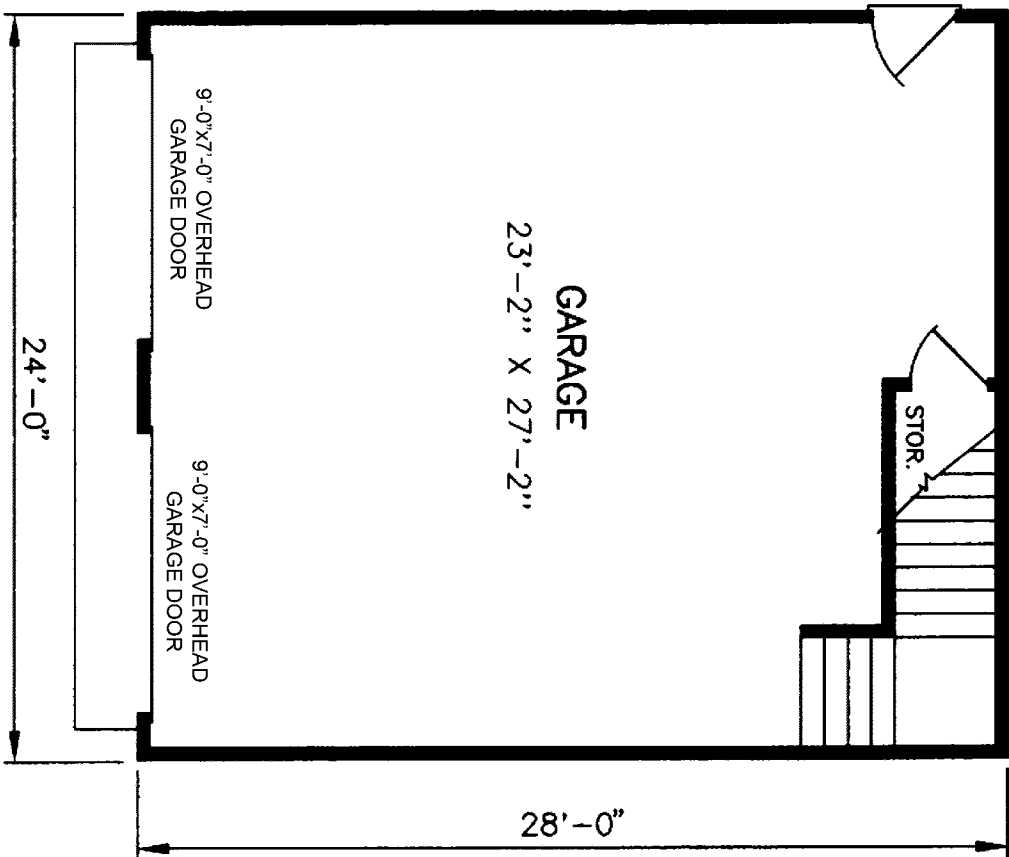
Plan Number 30000 Specifications:

- Garage Area: 624
- Garage Type: Detached
- Garage Bays: 2
- House Width: 24'0
- House Depth: 26'0
- Number of Stories: 1
- Max Ridge Height: 15'0'
- Primary Roof Pitch: 6:12
- Roof Framing: Truss
- Main Ceiling Height: 8' or 9'

Typical Single-story Detached Garage Design and Dimensions

(this general design type has been built in Ashborough East and would be allowed, with changes to match house)

Ashborough East



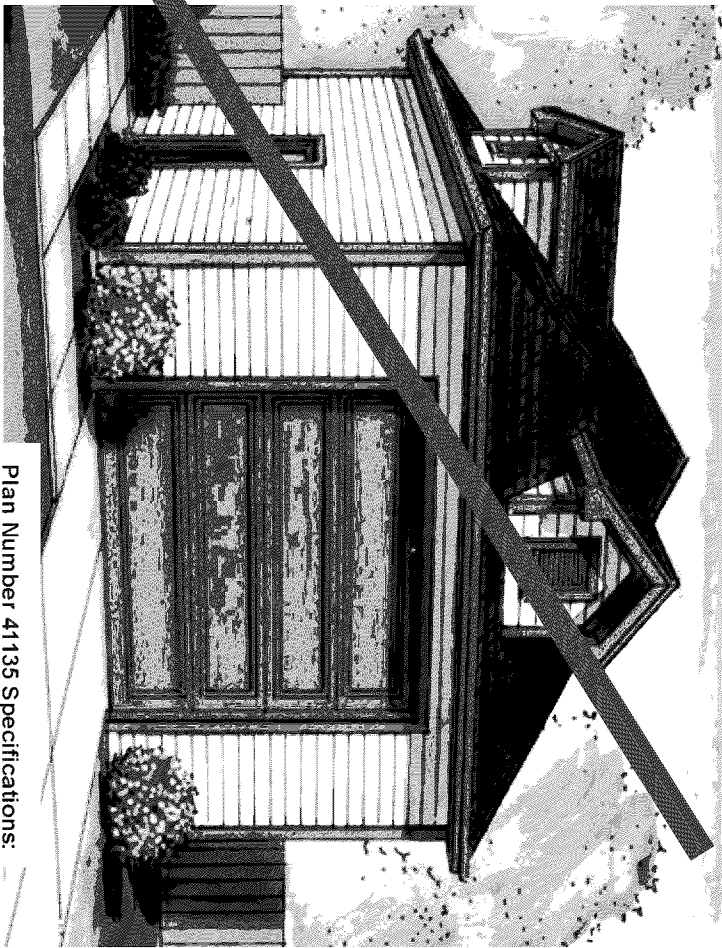
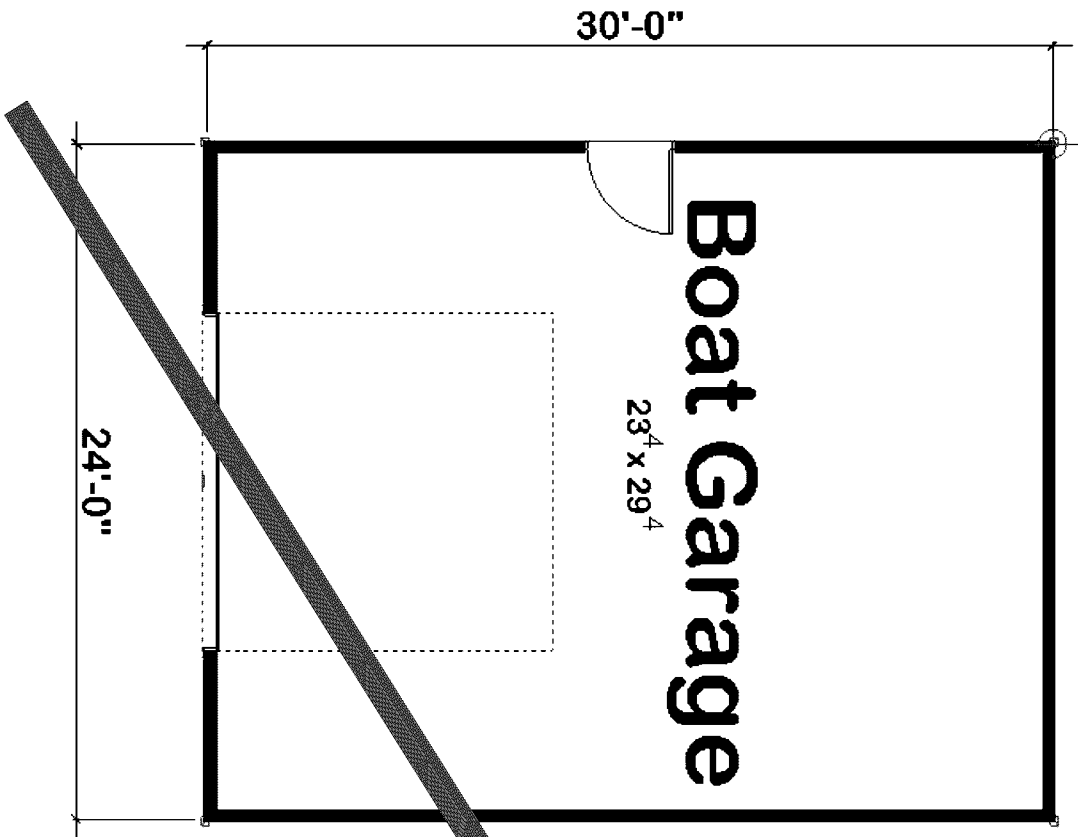
Plan Number 45425 Specifications:

- Garage Area: 672
- Garage Type: Detached
- Garage Bays: 2
- House Width: 24'
- House Depth: 28'
- Number of Stories: 2
- Max Ridge Height: 23'
- Primary Roof Pitch: 12:12
- Roof Framing: Stick

Typical Two-story Detached Garage Design and Dimensions

(this general design type has been built in Ashborough East and would be allowed, with changes to match house)

Ashborough East



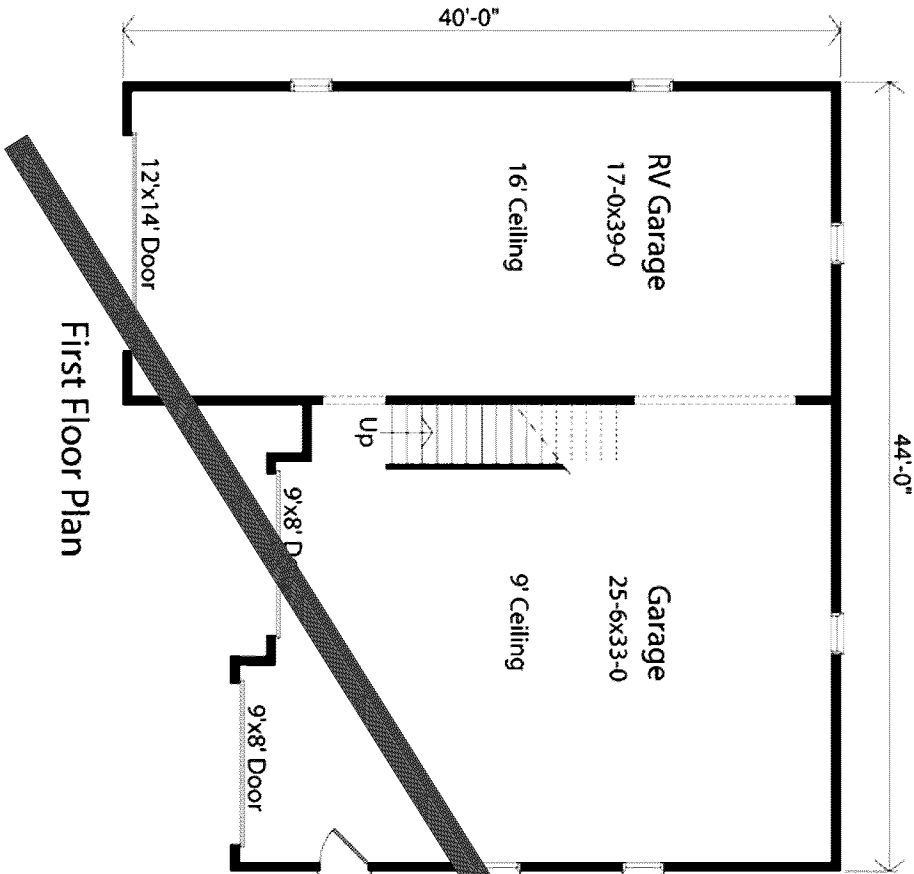
Plan Number 41135 Specifications:

- Garage Area: 668
- Garage Type: Detached
- Garage Bays: 1
- House Width: 24'
- House Depth: 30'
- Number of Stories: 1
- Max Ridge Height: 23'
- Primary Roof Pitch: 8:12
- Roof Load: 40 psf
- Roof Framing: Stick
- Main Ceiling Height: 9'

Typical Boat Garage Design and Dimensions

(out-of-scale example of what is not allowed in Ashborough East)

Ashborough East



First Floor Plan



Plan Number 49030 Specifications:

- Bonus Area: 364
- Garage Area: 1760
- Garage Type: Detached
- Garage Bays: 3
- House Width: 44'
- House Depth: 40'
- Number of Stories: 2
- Max Ridge Height: 25'
- Primary Roof Pitch: 9:12
- Roof Load: 40 psf
- Roof Framing: Truss
- Main Ceiling Height: 16'

Typical RV and 2-car Garage Design and Dimensions

(out-of-scale example of what is not allowed in Ashborough East)

EXHIBIT I**GUIDELINES FOR FRONT YARD SCULPTURE AND ORNAMENT
IN ASHBOROUGH EAST**

One of beautiful aspects of Ashborough East is the natural landscape created by front yard plantings of flowers, bushes, trees, and lawns. These features are in themselves sufficient to complement and enhance the appearance of Ashborough East houses and streetscapes.

Some homeowners, however, seek to add to the appearance of their front yards through the addition or installation of sculpture and ornament.

These guidelines are intended to indicate which sculpture and ornament additions require approval by the Architectural Review Board before installation, and which types are not allowed.

These guidelines do not apply to temporary seasonal holiday decorations in front yards.

1. LOCATION

All front yard sculpture or ornament must be located in a garden bed. Sculpture or ornament is not permitted to stand alone on a front lawn.

2. SIZE OF SCULPTURE OR ORNAMENT

All sculpture or ornament larger than 36" in any dimension (height, width, or depth) must be reviewed and approved by the ARB before installation.

3. MATERIALS

A. Recommendedstone, wood, or concrete.

B. Requiring ARB approvalplastic, glass, metal, or brick.

4. NUMBER OF PIECES

No more than two (2) pieces of sculpture or ornament are allowed in front yards.

5. COLORS

A. Preferrednatural weathered colors.

B. Permittedpainted or stained natural colors (green, brown, or black).

C. Requiring ARB approvalall other colors.

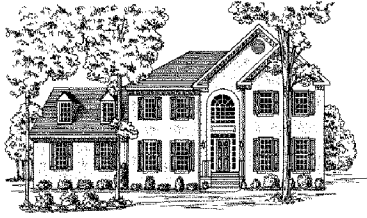
D. Not allowedfluorescent, neon, or "hot" colors (pink, purple, etc.).

6. SUBJECT MATTER

A. Permittedbirdbaths, stone lanterns, religious or classical figures, small stone animals, baskets, urns, sundials, small birdhouses, and benches.

B. Requiring ARB approvalall other subject matter (example: flagpoles)

C. Not allowedwishing wells, windmills, life-like animals (deer, bears, ducks, geese, flamingos, etc.), dwarfs, kissing Dutch people, painted or metal wheelbarrows, buckboards, wagon wheels, decorative signs, hitching posts, split-rail or any type of fencing, large silhouette figures, or any other subject deemed inappropriate to the streetscape by the ARB.

EXHIBIT J**Ashborough East Architectural Review Board**

221 Brandywine Drive
Summerville, SC 29485

Phone/Fax : 843-821-1275

Camouflaging Backflow Preventers in Ashborough East Front Yards

The naturalistic appearance of front yards in Ashborough East gives our community distinctive character and enhances property values. The Ashborough East Covenants and Bylaws are in place so that this distinctive character can be maintained.

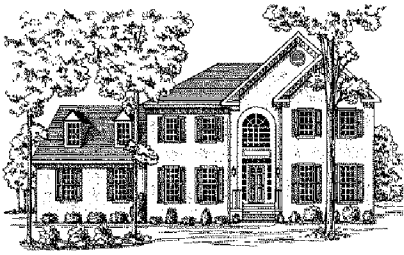
Since 1998, the Summerville CPW has required that each property which has an in-ground sprinkler system be equipped with a “backflow preventer”. This device prevents the reverse flow of water into the CPW water supply system. It must be located at a high point in the water supply line from the CPW main to the sprinkler system. In many cases, this device must be located above ground in front yards. (More information on these devices is available from the CPW website “Backflow Department” page, using this link: http://www.summervillecpw.com/index.asp?Type=B_BASIC&SEC={DB636051-20E6-4C70-A502-438866B866EB}&DE=1)

If this is the case with your property, the backflow preventer should be painted, and screened or camouflaged from view and in order to blend in with surrounding landscape in compliance with the intent of our Covenants. This can be accomplished by following these guidelines:

1. **PAINTING:** All reflective glare from copper or metal piping or components should be minimized by using non-glare satin or flat black or dark brown paint (not green) to paint them so as to make them blend in with the surrounding landscape.
2. **INSULATION:** Any insulation placed around the piping should not have any reflective or glossy surfaces, and should be satin or flat black or dark brown (not green). Insulation should not have an industrial look such as a square or angular shape as this will clash with the naturalistic character of front lawns in our community.
3. **SCREENING:** All backflow preventers and piping should be screened from view by either of the following methods:
 - a. Plantings, consisting of low year-round green bushes, so that the backflow preventers and piping are not visible when looking at your property from the street. This option is preferred and is usually the lowest cost option. Examples would include low-growing holly or dwarf gardenia bushes or junipers.
 - b. Dark-colored brown or dark gray naturalistic-looking artificial rock covers which have a satin or flat naturalistic finish and fit over backflow preventer piping. Light-colored gray artificial rock covers are discouraged as they tend to stand out rather than blend in with the surrounding landscape.
 - i. There are a number of companies selling these covers via the Internet, and can be found by using your Google or other search engine to search for “artificial landscape rocks” or similar descriptive phrases.
 - ii. Choose carefully to select the cover which is the proper size and best blends in with your landscaping, as these covers can be expensive and may have a restocking fee if returned.
4. **PROHIBITIONS:** Specifically prohibited are covers which are industrial in appearance, inverted plastic storage bins of any color, garbage cans, or any glossy plastic covering.

Your co-operation in maintaining the naturalistic character of front yards in Ashborough East is appreciated.

Approved by the Board of Directors 2-19-09

EXHIBIT K**Ashborough East Architectural Review Board**

221 Brandywine Drive
Summerville, SC 29485

Phone/Fax : 843-821-1275

Tree Removal Review Process for Larger Diameter Trees in Ashborough East

Ashborough East ARB approval is required for ALL tree removals in Ashborough East.

In addition, Dorchester County approval is required for removal of all trees which are 24" in diameter or larger. An abridged version of the latest Dorchester County Tree Protection Ordinance 12.4, as applicable to Ashborough East homeowners, is attached.

Ashborough East residents wishing to remove trees meeting the large tree criteria must obtain a Dorchester County Tree Removal Permit first and attach a copy of the permit to the standard Ashborough East ARB Tree Removal Application when applying for ARB review.

The process for scheduling a Dorchester County tree inspection and obtaining a Dorchester County Tree Removal Permit is as follows:

1. Fill in and complete the County Permit Form (last page).
2. Deliver the completed form by any of the following methods to the Dorchester County Planning and Codes Enforcement Department:
 - a. Scan the completed form, convert it to a PDF file, and attach it to an explanatory email addressed to the Department administrator (contact the Department at 843-832-0020 for the most current email address).
 - b. Fax the completed form to the at 843-832-0037 with an explanatory cover sheet.
 - c. Mail (or deliver the completed form in person) to the Planning and Codes Enforcement Department, 500 N. Main St. – Box 3, Summerville, SC 29483.
3. Contact the Department by phone (843-832-0020) to advise that you have sent the completed form. The administrator may be able to tell you how soon the inspector will be able to visit your property.
4. The inspector will visit your property and review your application usually within 3 days. The inspector may or may not knock on your door to discuss the application with you. If approved, the inspector will leave a copy of the Tree Removal Permit with comments and signature on your front porch. A copy of this signed Permit must be included with your Ashborough East ARB Tree Removal Request application.
5. Further County information can be found at
<https://www.dorchestercountysc.gov/government/planning-development/planning-zoning>

Approved by the Board of Directors 6-12-14 – rev3

Dorchester County Ordinance**- Section 12.4 Tree and Canopy Protection Standards**

(abridged to include sections applying only to Ashborough East homeowners)

12.4.2 Tree Classifications

Trees protected by ordinance are defined and categorized as follows. Any tree defined in subsections (a) through (c), immediately below, shall be considered Protected trees.

(a) Significant Tree.

A tree twelve inches (12") in diameter at breast height (DBH) to twenty-four inches (24"), excluding pine, shall be protected by Dorchester County under this Ordinance because of its contribution to the environment, property values, and quality of life.

(b) Required Tree.

Any tree provided as required under the provisions of this Ordinance shall be protected by Dorchester County.

(c) Grand Tree.

A tree of special value due to its age and stature is deemed of irreplaceable value to Dorchester County. Trees twenty-four inches (24") in DBH or greater, including pine, shall be considered Grand trees and protected by Dorchester County under this Ordinance.

12.4.3 Applicability

The regulations set forth in this section shall apply to all trees and land in Dorchester County except as noted herein and elsewhere in this Ordinance. No provision of this section shall be construed to exempt or relieve one from wetlands protection standards in this Ordinance. Those not requiring land disturbance and Tree Removal Permits are those parties listed below. Such are, however, strongly encouraged by Dorchester County to conserve trees so as to uphold the intent of this Ordinance and the quality of life enjoyed by residents of the county.

(a) Parties exempt:

The parties listed below are exempt from this section to the extent defined in regard to each party

(6) Occupied single-family residence:

A single-family residential site equal to or smaller than one (1) acre shall be exempt from protecting Significant Trees, Required Trees, but not Grand Trees, provided the lot is occupied by one (1) single-family house.

Dorchester County Ordinance
- Section 12.4 Tree and Canopy Protection Standards

(abridged to include sections applying only to Ashborough East homeowners)

12.4.4 Tree Removal Permit

It shall be unlawful to fell, improperly prune, or otherwise destroy a Protected Tree without first obtaining a Tree Removal Permit from the Zoning Administrator.

(a) Exception:

A Tree Removal Permit is not necessary to remove a tree creating imminent danger to other trees, crops, permanent structures, public utilities, rights of way, or persons. A tree posing imminent danger shall be defined as one damaged by a storm, fire, or vehicular accident such that its structural integrity is seriously compromised and that the tree can be reasonably expected to fall and injure persons or structures within three (3) business days.

(b) Procedure

(1) Application for permits must be made at least three (3) business days in advance of proposed tree removal. The Zoning Administrator or his assign shall issue the permit, valid for six (6) months, if the proposal meets the criteria for tree removal.

(4) Trees to be removed will be physically marked with brightly colored Engineer's Tape. The property may first be inspected by the County Zoning Administrator, or his designee, before approval is granted. The tape on those trees approved for cutting will be left in place. Any engineer tape errantly placed on those trees to be preserved (not approved for cutting) will be removed by the inspector. Following inspection by the County inspector, the permit will be granted for full approval, partial approval, or disapproval.

(5) It shall be the responsibility of the applicant to post the Tree Removal Permit on the property in a place on the site visible from the public right-of-way throughout any tree removal activity.

(c) General criteria:

The following criteria shall constitute grounds for a Tree Removal Permit regardless of use or zone.

(1) Trees potentially hazardous to surrounding trees, crops, permanent structures, public utilities, rights of way, or persons due to a loss of stability caused by high wind, unstable soil, age, or other natural forces, as certified by a registered forester or certified, qualified arborist who holds a County business license.

(2) Diseased and/or infectious trees and trees in decline, as certified by a registered forester or certified, qualified arborist who holds a Dorchester County business license.

(3) Trees or their root systems causing visible damage to permanent structures that cannot be prevented through proper pruning, as determined by a certified, qualified arborist who holds a County business license.

Approved by the Board of Directors 6-12-14

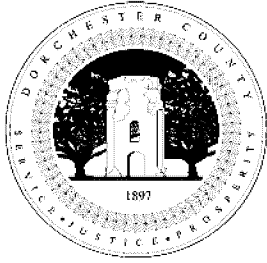
Dorchester County Ordinance**- Section 12.4 Tree and Canopy Protection Standards**

(abridged to include sections applying only to Ashborough East homeowners)

(4) Trees or their root systems causing damage to utility lines that cannot be prevented through proper pruning, as certified by a registered forester or certified, qualified arborist who holds a County business license.

(5) Trees inhibiting access through a public right-of-way such that proper pruning cannot mitigate the condition.

(6) Trees creating hazardous conditions on pedestrian walkways underneath such trees due to excessive debris of a size and shape known to cause injuries from tripping and falling (e.g., seed pods of sweet gum trees), as determined by the Zoning Administrator.



DORCHESTER COUNTY TREE REMOVAL PERMIT APPLICATION

Planning & Codes Enforcement Department
500 N. Main Street, Box 3
Summerville, South Carolina 29483
Phone: (843) 832-0020 ♦ Fax: (843) 832-0037

Office Use Only

Date Received: _____ Staff: _____ PERMIT NUMBER: _____

Instructions: Applicants must complete and submit this application with all the required information to the
Department of Planning & Codes Enforcement at 500 N. Main Street, Box 3, Summerville.

Please complete and submit both pages. Incomplete applications will not be considered.

Applicant Information

Applicant: _____ Today's Date: _____

Address: _____

City: _____ State: _____ Zip: _____

Daytime Phone: _____ Alternate Phone: _____

Fax: _____ Email: _____

Site Information

Location/address: _____

Subdivision: _____ TMS# _____
(Name of subdivision or neighborhood) (Tax Map Serial Number can be found on your tax bill)

Have you lived at this address for more than two years? ☐ Yes ☐ No

Do you own the property? ☐ Yes ☐ No (If no, the owner must provide **written** permission to remove tree(s).)

Property Owner: _____ ☐ Same as applicant

Address: _____

City: _____ State: _____ Zip: _____

Additional Information

Number of trees to be removed: _____ Approximate diameter of trees: _____

Reason for removal: _____

(May require verification and certification from an Arborist.)

DORCHESTER COUNTY
TREE REMOVAL PERMIT APPLICATION
 (CONTINUED)

Use this space to draw a site plan depicting the property and showing the approximate location of structure(s) and the tree(s) being considered for removal.

Upon receipt of this application, an inspection will be scheduled and conducted.

MARK TREES WITH PAINT OR RIBBON

Upon approval, the applicant will be given a tree removal permit to be prominently displayed on or near the tree location any time work is being conducted.

PERMIT EXPIRES IN SIX (6) MONTHS

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel of land restricted by any recorded covenant that is contrary to, conflicts with or prohibits the activity described in the application?

☐ Yes ☐ No

Applicant Signature: _____ Date: _____

Planning Staff Use Only

☐ Approved _____ ☐ Denied _____ ☐ Unnecessary

Notes: _____

Reviewed by: _____ Date: _____ RETURNED DATE: _____

Tree Replacement Requirements in Ashborough East

These requirements were developed to identify desirable replacements for trees approved by the ARB for removal in cases where the ARB mandates tree replacement as a condition for approval. Replacement tree size to be discussed with ARB.

Preferred hardwood native trees – commonly found in Dorchester County woodland areas and well-adapted to Lowcountry growing conditions:

1. Oaks (all varieties)
2. Dogwood
3. Beech
4. Tupelo (Black)
5. Savannah Holly (tree forms)
6. Magnolia (tree forms)
7. Hornbeam (also known as Ironwood)
8. Red Buckeye (small flowering buckeye tree)

Acceptable alternate trees - which are non-native, fruit, nut, ornamental, or small trees:

1. Apple (ornamental & fruiting varieties)
2. Cedar
3. Cherry (ornamental & fruiting varieties)
4. Crabapple
5. Cypress (Leyland and varieties)
6. Elm – especially “Drake” Elm
7. Ginkgo
8. Golden Rain Tree
9. Hemlock
10. Honey Locust
11. Japanese Zelkova
12. Linden
13. Loquat
14. Maple - Japanese
15. Mimosa
16. Palm (not native)
17. Peach (ornamental & fruiting varieties)
18. Pecan
19. Plum (ornamental & fruiting varieties)
20. Redbud
21. Sassafras
22. Sourwood
23. Walnut

Acceptable trees - which can have problems - Some have branches which easily break during storms - some may cause root damage if planted near lawns or too close to driveways or foundations:

1. Ash (surface rooting)
2. Bald Cypress (“knees” may protrude thru lawns)
3. Birch (surface rooting, drops limbs & leaves)
4. Bradford Pear (large limb breakage in windstorms)
5. Maple – Red (surface rooting)
6. Pine (surface rooting, drops limbs & cones)
7. Sycamore (sheds bark)
8. Willow (drops limbs in windstorms)
9. Tulip Poplar (disease-prone, litter, very tall)

Non-acceptable trees (not allowed as replacements)

1. Maple – Silver (much surface rooting)
2. Sweetgum (drops gumballs)
3. Chinese Tallow (aka Popcorn Tree – toxic fruit)
4. Hackberry (weed tree with unattractive bark)

The preceding are identified as TREES in Landscape Plants of the Southeast*, R. Gordon Halfacre and Anne R. Shawcroft, (1979), Sparks Press, Raleigh, NC.

Trees, Shrubs, and Bushes

Some homeowners may not know the differences between TREES, SHRUBS, and BUSHES. **If the ARB requires a replacement TREE or TREES as a condition for approval of removing an existing tree or trees, a large planting of larger SHRUBS or BUSHES may qualify as possible alternate replacements.** The differences noted below are from Webster's 3rd New International Dictionary, editor in chief Philip Babcock Gove, Ph.D., Merriam-Webster Inc., Springfield, MA (1993)).

A. Tree

“A woody perennial plant having a single main stem that may be short, but is usually considerably elongated, has generally few or no branches on its lower part, and is crowned with a head of branches and foliage” (p. 2435)

B. Shrub

“A low, usually several-stemmed woody plant” (p.2108)

C. Bush

“A low densely branched shrub, suggesting a single plant.” (p.301) (Note: the term “Bush” is also slang for “Shrub”.)

Examples of SHRUB Species

Azalea	Gardenia	Privet
Bamboo	Holly (shrub type)	Quince
Boxwood	Honeysuckle	Raphiolepis
Camelia	Hydrangea	Oakleaf Hydrangea
Cleyera	Jasmine	Rose
Cotoneaster	Juniper	Spirea
Crape Myrtle	Laurel	Star Magnolia
Deutzia	Ligustrum	Sweet Bay
Elaeagnus	Lilac	Tea Olive
Euonymus	Oleander	Viburnum
Fatsia	Podocarpus	Wax Myrtle
Firethorn	Pittosporum	Yucca
Forsythia	American Beautyberry	

The above are identified as SHRUBS in Landscape Plants of the Southeast*, R. Gordon Halfacre and Anne R. Shawcroft, (1979), Sparks Press, Raleigh, NC.

***Notes:**

1. Landscape Plants of the Southeast is available at the Summerville Library under call number “635.9 HAL”.
2. Identification information is also available on the Internet, other gardening books (e.g., “Southern Living” series), local master gardeners, landscapers, and the Clemson Extension Service.